



# Suncoast Technical College Commercial Outparcels

Development Master Plan Amendment  
(Petition No. DMA-21-269)

## STAFF REPORT

**From:** Sherry Willette-Grondin, Planner III

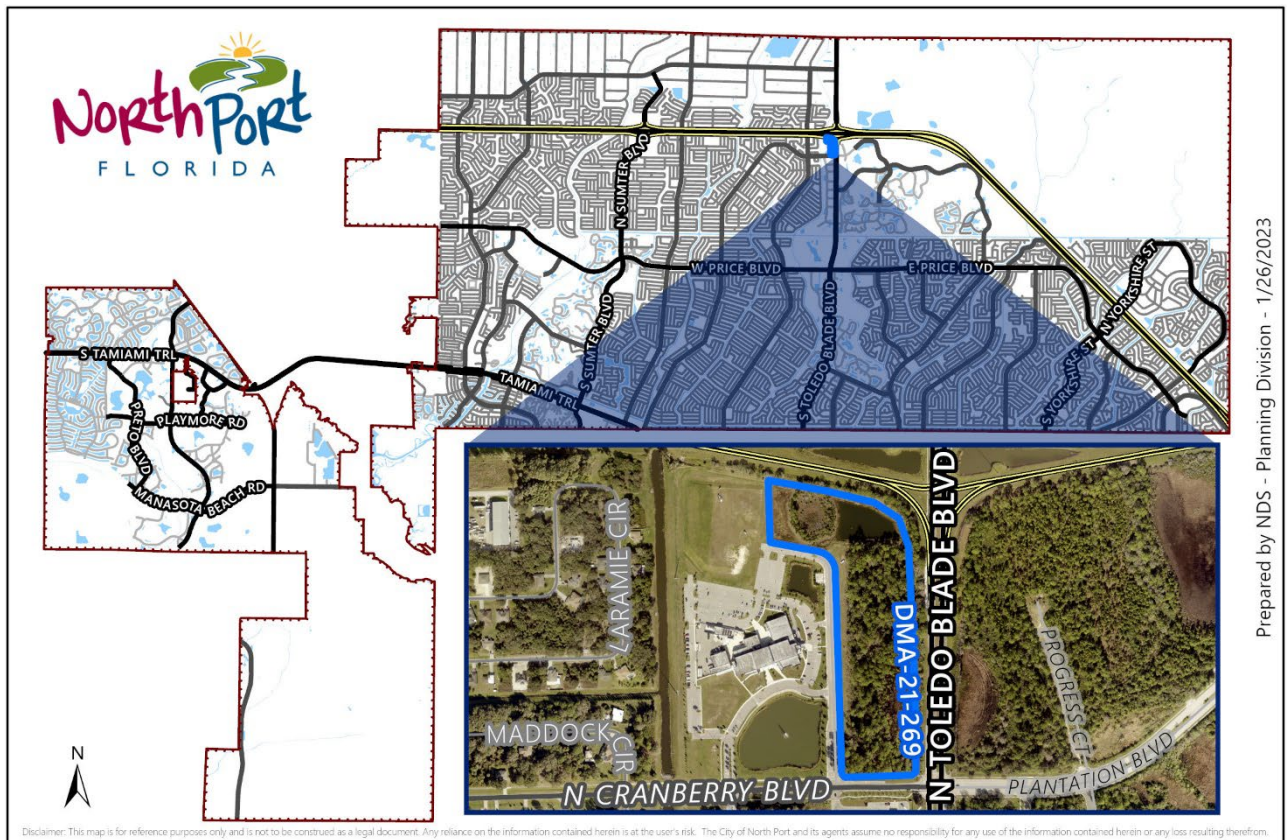
**Thru:** Lori Barnes, AICP, CPM, Planning & Zoning Division Manager

**Thru:** Alaina Ray, AICP, Neighborhood Development Services Director

**Thru:** Jason Yarborough, ICMA-CM, Assistant City Manager

**Thru:** A. Jerome Fletcher II, ICMA-CM, MPA, City Manager

**Date:** March 2, 2023



Prepared by NDS - Planning Division - 1/26/2023

Disclaimer: This map is for reference purposes only and is not to be construed as a legal document. Any reliance on the information contained herein is at the user's risk. The City of North Port and its agents assume no responsibility for any use of the information contained herein or any loss resulting therefrom.

<b>PROJECT:</b>	Suncoast Technical College Commercial Outparcels, DMA-21-269
<b>REQUEST:</b>	Consideration of a Development Master Plan Amendment to reconfigure lot sizes, easements, and roadway improvements on Toledo Blade and Cranberry Boulevard for the technical college commercial outparcels.
<b>APPLICANT:</b>	James Angeloni, Managing Member of Toledo Blade Partners, LLC <b>(Exhibit A, Affidavit)</b>
<b>OWNERS:</b>	Toledo Blade Partners, LLC <b>(Exhibit B, Warranty Deed)</b>
<b>LOCATION:</b>	Located generally located west of and adjacent to N. Toledo Blade Boulevard and north of and adjacent to N. Cranberry Boulevard (Activity Center #4), (PID#s 0960-01-0001, 0960-01-0002, 0960-01-0003, 0960-01-004)
<b>PROPERTY SIZE:</b>	± 14.42 acres

## I. BACKGROUND

James Angeloni, Managing Member of Toledo Blade Partners, LLC, the property owner, submitted a development master plan amendment application to the City of North Port. The purpose of the application is to amend the previously approved Suncoast Technical College/Library development master plan (DMP-15-024) by reconfiguring lot sizes and easements, including the cross-access easement, adding a right-in driveway from Toledo Blade Boulevard southbound with deceleration/turning lane, and a traffic signal at the intersection of Career Lane and Cranberry Boulevard. The traffic signal is warranted due to the updated traffic analysis and will be constructed by the developer. The cost for the signalization will be shared 50-50 between the City and the developer through a developer's agreement for traffic mitigation and cost-sharing to be approved by the City Commission. The developer agreement will be presented to Commission as a future agenda item.

The commercial outparcels comprise 14.42 acres. The property is zoned Commercial General (CG) with a Future Land Use of Activity Center.

## II. MODIFICATION OF REGULATIONS (WAIVERS)

Pursuant to ULDC Sec. 53-118-Modifications of regulations. The Commission may approve modifications to regulations during the Development Master Plan hearing process. The applicant is not requesting any modifications of regulations (waivers) for this project.

## III. NEIGHBORHOOD MEETING

Pursuant to Section 53-5. E. of the Unified Land Development Code, a neighborhood meeting for the complete project was conducted on February 19, 2015, under the approved development master plan DMP-15-024.

## IV. STAFF REVIEW

The following staff reviews were completed before hearings held by the Planning and Zoning Advisory Board and the City Commission:

1. Pre-Application meeting with the Staff Development Review (SDR) team.
2. Formal Submittal/Resubmittals to be reviewed and approved by SDR.
3. Review for consistency with the City's Comprehensive Plan (Comp Plan). See Section V.
4. Compliance with the City's Unified Land Development Code (ULDC). See Section V.

## Staff Development Review Summary

<b>NDS- Building Arborist</b>	No Objection <sup>1</sup>
<b>NDS-Building Structural</b>	No Objection <sup>2</sup>
<b>Finance</b>	No Objection
<b>Fire/Rescue</b>	No Objection
<b>NDS-Planning and Zoning</b>	No Objection <sup>3</sup>
<b>Parks and Recreation</b>	No Objection
<b>Public Works/P&amp;Z Environmental</b>	Meets Requirements <sup>4</sup>
<b>Public Works Engineering</b>	Meets Requirements with Conditions <sup>5</sup>
<b>Public Works Stormwater</b>	Meets Requirements with Conditions <sup>6</sup>
<b>Public Works Solid Waste</b>	No Objection
<b>Utilities</b>	Meets Requirements with Conditions <sup>7</sup>

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<sup>1</sup> The City Arborist had no objection. However, standard comments concerning the placement of all trees and landscaping requirements will apply during the site development/infrastructure stage.

<sup>2</sup> Building provided standard comments to be addressed at the building permit stage.

<sup>3</sup> Planning and Zoning had no objection to the development master plan.

<sup>4</sup> Environmental conditions apply at the site and development/infrastructure stage concerning the 90-day requirement for the gopher tortoise survey prior to land clear activity for each commercial lot as it is developed.

<sup>5</sup> Engineering condition #1 - A developer's agreement for the cost-sharing of the signalization at the intersection of Career Lane and Cranberry Boulevard shall be approved by the City Commission prior to the development of the commercial outparcels.

<sup>6</sup> Stormwater comments are applicable at the site development stage. Stormwater requested the following condition on the order of approval. The detailed stormwater system design, treatment, and attenuation analysis for the additional roadway imperious areas will need to be addressed in the future site development applications, and any needed drainage easements must be provided.

<sup>7</sup> Utilities were approved with standard conditions related to irrigation systems to be designed and constructed to reuse standards. These conditions are applicable at the site development stage.

## V. DATA & ANALYSIS

Staff has reviewed the proposed development master plan for consistency with the City's Comprehensive Plan and the Unified Land Development Code (ULDC).

### **City of North Port Comprehensive Plan Chapter 2 Future Land Use**

Policy 2.4.1: AC #4 I-75/Toledo Blade Boulevard./ Panacea) - This Activity Center shall be established to provide a large concentrated area of a mixture of residential, commercial, office, medical, industrial, recreational and cultural facilities at a scale which serves the entire City, and the regional market due to its proximity to I-75.

Staff Findings: The proposed amendments to the development master plan apply only to the commercial outparcels and the roadways serving the development. These amendments include reconfiguring lot sizes, and easements, including the cross-access easement, adding a right-in driveway from Toledo Blade southbound with a deceleration/turning lane, and a traffic signal at the intersection of Career Lane and Cranberry Boulevard. The project was approved by City Commission in 2015 through DMP-15-024 as part of the Suncoast Technical College/Library Development Master Plan. The proposed uses are a combination of commercial, educational, and cultural facilities which serve the entire City. In addition, the development is located near I-75 at the Toledo Blade exit and immediately to the north of the North Port Park of Commerce and to the west of The Woodlands Phase I, an industrial, flex warehouse, and office space. This development integrates with the surrounding mix of uses and expands the commercial corridor along Toledo Blade Boulevard.

Staff concludes that the proposed development is consistent with Policy 2.4.1.

### **Comprehensive Plan - Chapter 3 – Transportation Element Goals, Objectives, and Policies**

**Policy 2.1:** The City, as needed, will conduct studies to identify needed signalization or signage improvements, turn lanes, traffic calming, connectivity, and crosswalk controls at warranted intersections. The cost of these improvements may be shared between the City and the Florida Department of Transportation (FDOT), or other appropriate agency(s).

Staff Findings: A Traffic Impact Study was prepared by Stonefield Engineering & Design, LLC, on behalf of the developer and was evaluated by GHD Engineering, which the City from the general engineering library of consultants hired. The study aimed to investigate the potential impacts of the proposed commercial development on the adjacent roadway network. Based on the information provided in the Traffic Impact Study and Turn Lane analysis documents submitted by Stonefield Engineering & Design, LLC, dated July 21, 2021, the proposed expansion and development of Lots 1-5 of the Suncoast Technical College



Commercial Subdivision will produce impacts to the City of North Port transportation system. The deficiency identified in the Turn Lane Analysis (reference Table 2) pertains to the southbound Career Lane dedicated left turn movement onto eastbound Cranberry Boulevard, and the eastbound Cranberry Boulevard dedicated left turn movement onto northbound Career Lane, with a combined ratio of needed capacity of 2% background and vested trips and 98% development generated trips. The development of the commercial outparcels will warrant a traffic signal at the intersection of North Cranberry Boulevard and Career Lane and widen a portion of Cranberry Boulevard to reduce queue length to avoid any adverse impacts related to the nearby signalization at the intersection of Toledo Blade Boulevard.

The City of North Port Public Works Department has reviewed the documents provided by the developer regarding the traffic impacts and the cost-sharing proposal and has provided the following response:

*“While the City acknowledges that not all of the trips passing through the improved intersection will be development originated, it is the City’s viewpoint that the proposed traffic signal primarily exists to provide relief for two turning movements – the left turn from southbound Career Lane to eastbound Cranberry Boulevard, and the left turn from eastbound Cranberry Boulevard to northbound Career Lane. Both of these movements carry nearly 100% development-originated traffic...” “...the City is firm in paying no more than 50% of the construction cost”.* It is intended that impact fees generated by the project will be used for the City’s portion.

A developer agreement between the City of North Port and the developer to share 50-50 of the cost of installing the traffic signal and widening a portion of Cranberry Boulevard is required. The agreement details are being finalized prior to legal review by the City Attorney’s Office. This item will be presented before the Commission as a future agenda item through an Ordinance for approval.

Staff concludes that the proposed development is consistent with Chapter 3, Policy 2.1.

**Unified Land Development Code – Chapter 53 – Zoning Regulations, Article III. CG Commercial General District, Section 53-37.**

The CG Commercial General District is intended to provide areas in which the customary and traditional conduct of trade, retail sales, and commerce may be carried on without disruption by the encroachment and intrusion of incompatible residential uses and protection from the adverse effects of undesirable industrial uses. All commercial uses listed herein shall be conducted within completely enclosed buildings unless otherwise exempted.

Staff Findings: This amendment applies only to the commercial outparcels and the roadways serving the site. These amendments include reconfiguring lot sizes, and easements, including the cross-access easement, adding a right-in driveway from Toledo Blade southbound with a deceleration/turning lane, and a traffic signal at the intersection of Career Lane and Cranberry Boulevard. The lot size reconfiguration impacts the boundaries of lots 1-5 and meets the minimum lot size requirements of the CG zoning district. The driveway and the cross-access easement on lot one will be relocated. The utility easements will be slightly shifted due to the new lot configuration, and all affected easements will be recorded with the replat. There will be no impact on the existing technical college, library, private conservation, or public flowage easements on Tract 801 or Tract 201, as these areas are not included in the amendment.

Staff concludes that the proposed amendment to the development master plan is consistent with this section.

## VI. FISCAL IMPACT ANALYSIS

In 2015, staff performed a fiscal impact analysis for the Suncoast Technical College Development Master Plan DMP-15-024 with the City's Economic and Fiscal Impact Analysis Model (NP FAM). The project assumptions projected a direct output from the entire development area of \$43,098,331 for the first five years and \$86,740,409 after buildout and indirect input from the development at \$22,226,393 plus an additional 506-1006 employees. The data was derived from RIMS-II (Regional Input-Output Modeling System) final demand and direct effect economic multipliers for 62 industry categories. The multipliers are specific to Sarasota County and were prepared by the Bureau of Economic Analysis at the US Department of Commerce. These multipliers estimate spin-off or indirect economic impacts from direct economic activity.

## VII. CONDITIONS

Staff is recommending the following conditions:

Condition #1 – A developer's agreement for the traffic impact mitigation and cost-sharing of the Cranberry Boulevard/Career Lane intersection signalization and the Cranberry Boulevard roadwork will be required within 180 days of the development master plan approval.

Condition #2 - Stormwater comments are applicable at the site development stage. Stormwater requested the following condition on the order of approval. The detailed stormwater system design, treatment, and attenuation analysis for the additional roadway imperious areas will need to be addressed in the future

site development applications, and any needed drainage easements must be provided.

## VIII. PUBLIC HEARINGS

<b>Planning &amp; Zoning Advisory Board Public Hearing</b>	<b>March 2, 2023</b> <b>9:00 AM</b> or as soon thereafter
<b>City Commission Public Hearing</b>	<b>March 30, 2023</b> <b>6:00 PM</b> or as soon thereafter

## IX. RECOMMENDED MOTION

The Planning & Zoning Division recommends that the Planning & Zoning Advisory Board recommend approval of DMA-21-269, Suncoast Technical College Commercial Outparcels Development Master Plan Amendment, with the following conditions and motion as follows:

I move to find Petition No. DMA-21-269, Suncoast Technical College Commercial Outparcels Development Master Plan Amendment consistent with the City of North Port Comprehensive Plan based on the competent substantial evidence as presented and recommend the City Commission approve the petition with the conditions included in the Staff Report.

## X. ALTERNATIVE MOTION

APPROVAL of DMA-21-269, Suncoast Technical College Commercial Outparcels Development Master Plan Amendment with Alternative Waivers and/or conditions.

I move to recommend approval of Petition DMA-21-269, Suncoast Technical College Commercial Outparcels Development Master Plan Amendment with [no] waivers and/or [without] conditions [or any combination of waivers or conditions] and find that, based on competent substantial evidence, the development master plan complies with the North Port Comprehensive Plan and the Unified Land Development Code.

**DENY DMA-21-269, Suncoast Technical College Commercial Outparcels Development Master Plan Amendment**

I move to find Petition No. DMA-21-269, Suncoast Technical College Commercial Outparcels Development Master Plan Amendment is inconsistent with the City of North Port Comprehensive Plan based on the competent substantial evidence as presented and recommend the City Commission deny the petition.

**XI. EXHIBITS**

<b>Exhibits</b>
A. Affidavit
B. Warranty Deed
C. Development Master Plan



Exhibit A - Affidavit  
AFFIDAVIT

I (the undersigned), James Angeloni, Managing Member of Toledo Blade Partners, LLC being first duly sworn, depose and say that I am the owner, attorney, attorney-in-fact, agent, lessee or representative of the owner of the property described and which is the subject matter of the proposed application; that all answers to the questions in this application, and all sketches, data and other supplementary matter attached to and made a part of the application are honest and accurate to the best of my knowledge and belief. I understand this application must be complete and accurate before the application can be processed or hearing can be advertised, and that I am authorized to sign the application by the owner or owners. I authorize City of North Port staff and agents to visit the site as necessary for proper review of this application. *If there are any special conditions such as locked gates, restricted hours, guard dogs, etc., please provide the name and telephone number of the individual who can allow access.*

Sworn and subscribed before me this 16th day of August, 2021

[Signature]  
Signature of Applicant or Authorized Agent

James Angeloni, Managing Member  
Print Name and Title

STATE OF New Jersey COUNTY OF Burlington

The foregoing instrument was acknowledged by me this 16th day of August, 2021, by James Angeloni, Managing Member of Toledo Blade Partners LLC who is personally known to me or has produced state-issued driver's license as identification.

[Signature]  
Signature - Notary Public



(Place Notary Seal Below)

AFFIDAVIT  
AUTHORIZATION FOR AGENT/APPLICANT

I, James Angeloni, Managing Member of Toledo Blade Partners, LLC, property owner, hereby authorize Stonefield Engineering & Design, LLC to act as Agent on our behalf to apply

for this application on the property described as (legal description) Lots 1, 2, 3, 4, and 5, of SUNCOAST TECHNICAL COLLEGE

COMMERCIAL SUBDIVISION, according to the plat thereof, as recorded in plat Book 49, Page 42, of the Public Records of Sarasota County, Florida

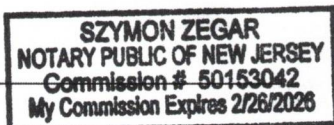
[Signature]  
Owner

August 26, 2021  
Date

STATE OF New Jersey COUNTY OF Burlington

The foregoing instrument was acknowledged by me this 16th day of August, 2021, by James Angeloni, Managing Member of Toledo Blade Partners LLC who is personally known to me or has produced state-issued driver's license as identification.

[Signature]  
Signature - Notary Public



(Place Notary Seal Below)



RECORDED IN OFFICIAL RECORDS  
INSTRUMENT # 2020165990 5 PG(S)

11/24/2020 11:29 AM

KAREN E. RUSHING

CLERK OF THE CIRCUIT COURT

SARASOTA COUNTY, FLORIDA

SIMPLIFILE

Receipt # 2591740

Doc Stamp-Deed: \$16,800.00

This Instrument Was Prepared By, Record and Return To:  
Jay Steinman, Esq., Esq.  
Duane Morris LLP,  
201 South Biscayne Blvd., Suite 3400  
Miami, Florida 33131

Property Appraiser  
Identification No. 0960-01-0001, 0960-01-0002, 0960-01-0003  
0960-01-0004, 0960-01-0005 and  
0960-01-0007

327731668MC

### SPECIAL WARRANTY DEED

**THIS SPECIAL WARRANTY DEED** dated as of November 23<sup>rd</sup>, 2020 between FCB REO PROPERTIES, LLC, a Delaware limited liability company (hereinafter referred to as "**Grantor**"), whose mailing address is 1111 Bay Avenue, Columbus, Georgia 31901 and TOLEDO BLADE PARTNERS LLC, a New Jersey limited liability company (hereinafter referred to as "**Grantee**"), whose mailing address is 701 Route 70 E, Building 1, Marlton, New Jersey 08053 .

### WITNESETH THAT:

Grantor, for and in consideration of the sum of Ten and No/100 U.S. Dollars (\$10.00), lawful money of the United States of America, to it in hand paid by the Grantee, at or before the ensealing and delivery of these presents, and other good and valuable consideration, the receipt of which is hereby acknowledged, has granted, bargained, sold, alienated, remised, released, conveyed and confirmed and by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee and its/his/her heirs or successors and assignees forever, the following parcel of real property, situate, lying and being in the County of Sarasota, State of Florida, and more particularly described as follows:

SEE **EXHIBIT A** ATTACHED HERETO AND MADE A PART HEREOF;

TOGETHER with all and singular the tenements, hereditaments and appurtenances, and every privilege, right, title, interest and estate, reversion, remainder and easement thereunto belonging or in any way appertaining (collectively, the "**Property**").

SUBJECT ONLY TO, HOWEVER, (i) taxes and assessments for the year 2021 and for subsequent years, (ii) zoning and other governmental laws, regulations, rules and ordinances affecting the Property, (iii) matters that could be disclosed by an accurate survey of the real property legally described on Exhibit A attached hereto, and (iii) those matters set forth on **Exhibit B** attached hereto and made a part hereof for all purposes; provided, however, reference thereto shall not serve to reimpose same (all of the foregoing being hereinafter collectively referred to as the "**Permitted Exceptions**").

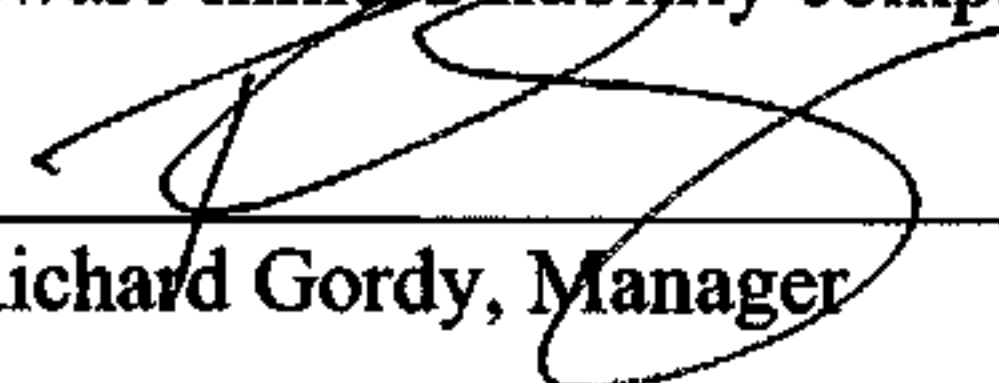
**TO HAVE AND TO HOLD the same in fee simple forever.**


**AND the Grantor hereby covenants with said Grantee that it is lawfully seized of the Property in fee simple; that it has good right and lawful authority to sell and convey said Property; that it hereby specially warrants the title to said Property, subject to the Permitted Exceptions, and will defend the same against the lawful claims of any persons claiming by, through or under the said Grantor but against no others.**


**[TEXT AND SIGNATURES FOLLOW]**

**IN WITNESS WHEREOF**, Grantor has caused this Special Warranty Deed to be signed and delivered as of the day and year first above written.

FCB REO PROPERTIES, LLC,  
a Delaware limited liability company


By:   
Richard Gordy, Manager

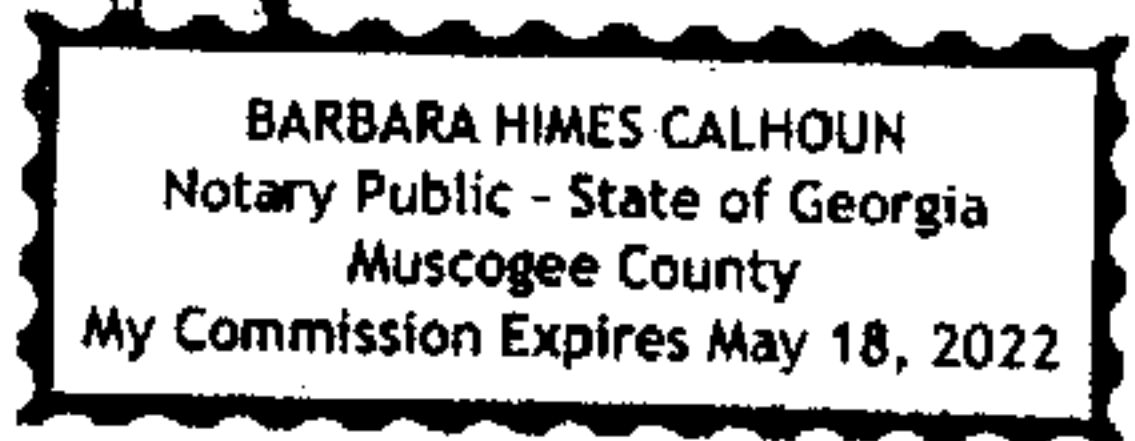
  
\_\_\_\_\_  
Witness  
Ron McQuinn  
Printed Name of Witness

  
\_\_\_\_\_  
Witness  
Daniel Lahn  
Printed Name of Witness

STATE OF GEORGIA )  
  ) ss.:  
COUNTY OF MUSCOGEE )

The foregoing Special Warranty Deed was acknowledged before me by means of () physical presence or () online notarization, this 10<sup>th</sup> day of November, 2020, by Richard Gordy, as Manager of FCB REO PROPERTIES, LLC, a Delaware limited liability company, on behalf of said company, who () is personally known to me, or () produced \_\_\_\_\_ as identification.

  
\_\_\_\_\_  
Signature of Notary Public  
Barbara Himes Calhoun  
Printed Name of Notary Public



**EXHIBIT A**

**Legal Description**

**Parcel 1:**

**Lots 1, 2, 3, 4, and 5, of SUNCOAST TECHNICAL COLLEGE COMMERCIAL SUBDIVISION, according to the plat thereof, as recorded in plat Book 49, Page 42, of the Public Records of Sarasota County, Florida.**

**Parcel 2:**

**Tracts 501, 801, and 901, of SUNCOAST TECHNICAL COLLEGE COMMERCIAL SUBDIVISION, according to the plat thereof, as recorded in plat Book 49, Page 42, of the Public Records of Sarasota County, Florida.**

## EXHIBIT B

### Permitted Exceptions

1. Easement for L.P. Gas Services recorded in Official Records Book 2941, Page 831 and Official Records Book 2941, Page 835, of the Public Records of Sarasota County, Florida.
2. Restrictions, covenants, conditions, easements and other matters as contained on the Plat of SUNCOAST TECHNICAL COLLEGE COMMERCIAL SUBDIVISION, recorded in Plat Book 49, Page 42, of the Public Records of Sarasota County, Florida.



Exhibit C - Development Master Plan

# SITE DEVELOPMENT PLANS FOR SUNCOAST TECHNICAL COLLEGE COMMERCIAL OUTPARCELS

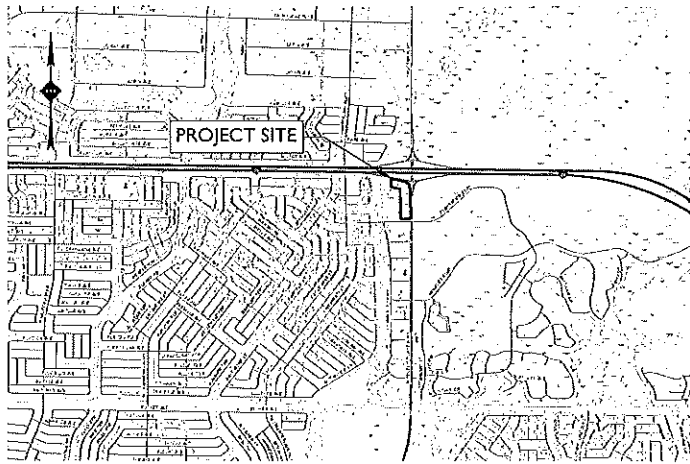
SUNCOAST TECHNICAL COLLEGE COMMERCIAL SUBDIVISION, LOT 1, 2, 3, 4 & 5  
4300 CAREER LANE  
CITY OF NORTH PORT  
SARASOTA COUNTY, FLORIDA

**APPLICANT**

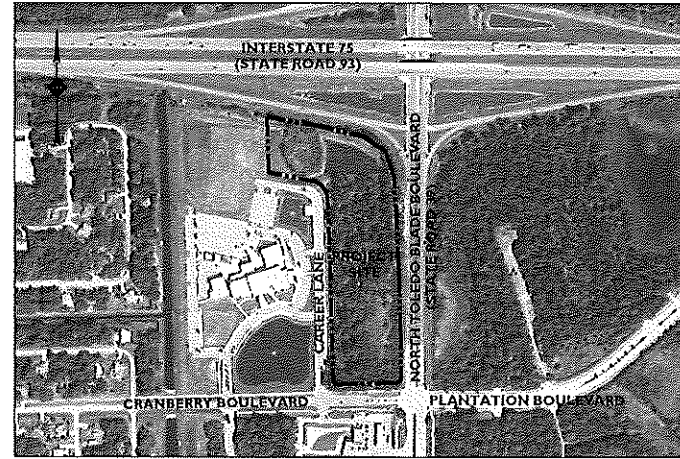
JAI DEVELOPMENT GROUP  
701 EAST ROUTE 90  
HARTLTON, NJ 08520  
856.988.8770  
JAI@JAI-DEVELOPMENT.COM

**OWNER**

TOLEDO BLADE PARTNERS, LLC  
701 EAST ROUTE 90  
HARTLTON, NJ 08520  
856.988.8770  
JAI@JAI-DEVELOPMENT.COM



**LOCATION / KEY MAP**  
SCALE: 1" = 2,000'±



**AERIAL MAP**  
SCALE: 1" = 300'±

PLANS PREPARED BY:



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Princeton, NJ · Tampa, FL · Detroit, MI  
www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
Phone 201.340.4468 · Fax 201.340.4472

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
  - ALTAIR'S LAND TITLE SURVEY AND TOPOGRAPHIC WAS COMPLETED BY LANDCO, L.P., DATED 04/20/11.
  - PRELIMINARY REPLAY WAS COMPLETED BY LANDCO, L.P., DATED 01/20/11.
  - UNITED STATES GEOLOGICAL SURVEY QUADRANGLE MAPS, T3 SERIES, MURDOCK, FL, DATED 1951
  - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, DATED 06/20/11.
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-10
DEVELOPMENT PLAN (1)	C-20
DEVELOPMENT PLAN (2)	C-21
MASTER PLAN (1)	C-30
SITE PLAN (1)	C-31
SITE PLAN (2)	C-33
GRADING PLAN (1)	C-40
GRADING PLAN (2)	C-41
GRADING PLAN (3)	C-42
UTILITY PLAN	C-50
CONSTRUCTION DETAILS (1-1)	C-1049

James & Wilson Professional Engineer, State of Florida, License No. 82000 This Plan Set has been digitally prepared and sealed by James & Wilson, P.E. on 01-18-2023. Printed copies of this document are not a standard legal seal and no seal and no signature may be verified on any electronic image.  
2/23/21 11:52:28 AM CST

NO.	DATE	DESCRIPTION

NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
engineering & design

Rutherford, NJ · New York, NY · Boston, MA  
Princeton, NJ · Tampa, FL · Detroit, MI  
www.stonefielddesign.com

Beverly Tower, 400 N. Ashley Drive, Suite 1900, Tampa, FL 33602  
Phone 856.897.8653

SITE DEVELOPMENT PLANS

**SUNCOAST TECHNICAL  
COLLEGE COMMERCIAL  
OUTPARCELS**

SUNCOAST TECHNICAL COLLEGE COMMERCIAL SUBDIVISION, LOT 1, 2, 3, 4 & 5  
CITY OF NORTH PORT  
SARASOTA COUNTY, FLORIDA

James & Wilson Professional Engineer, State of Florida, License No. 82000

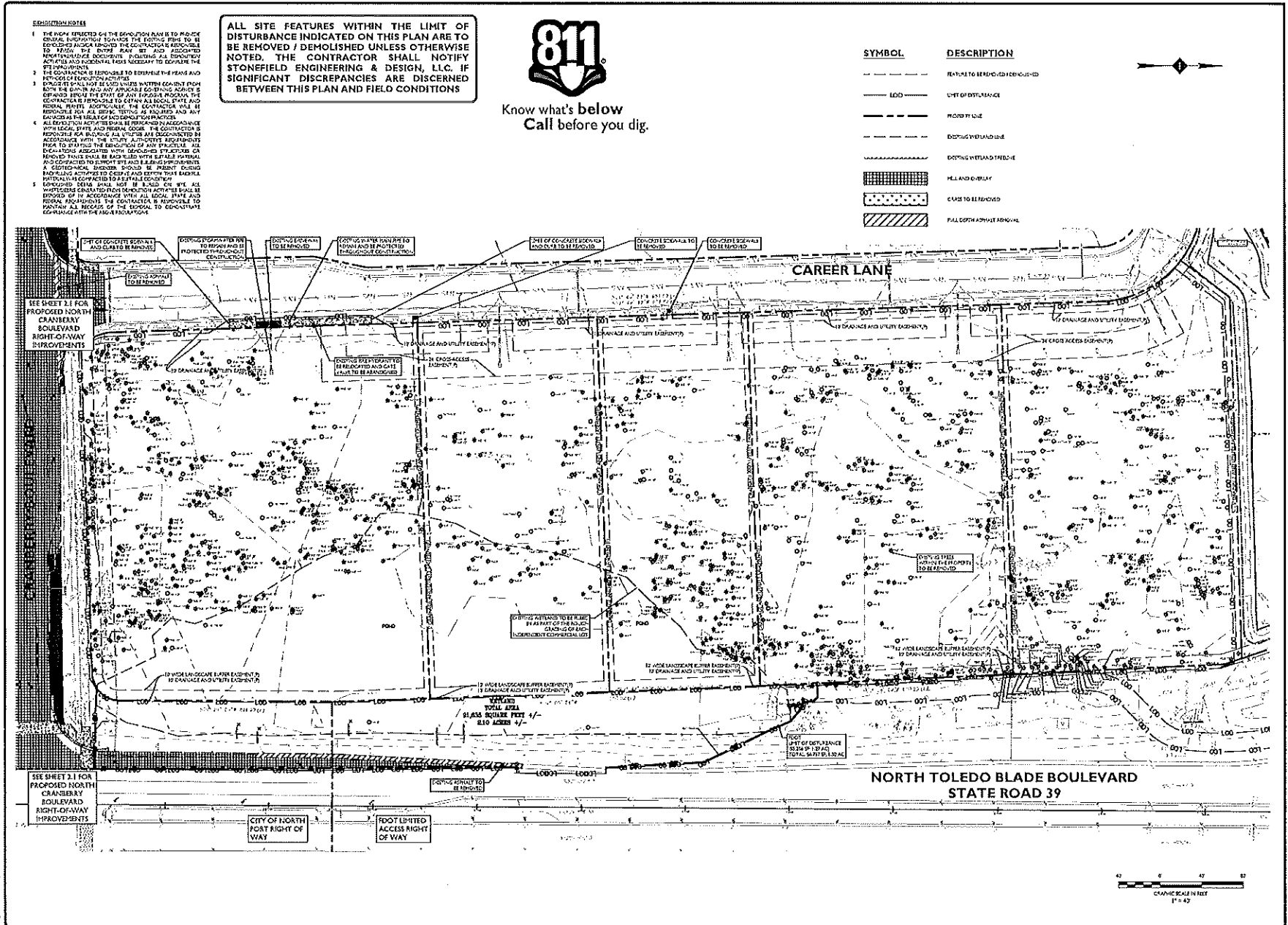
**STONEFIELD**  
engineering & design


SCALE: AS SHOWN PROJECT ID: F1421

TITLE: COVER SHEET

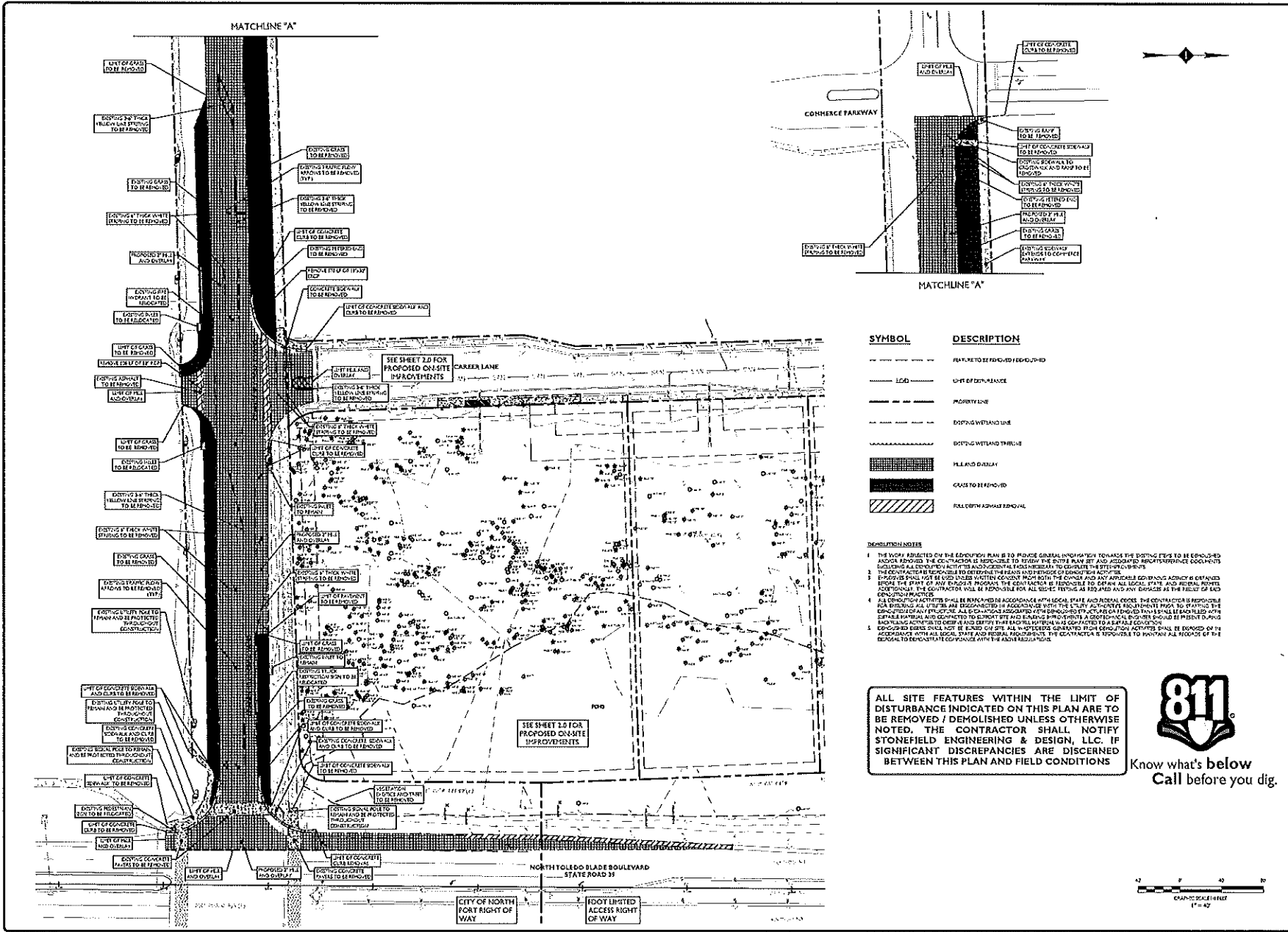
DRAWING: C-1.0

# Exhibit C - Development Master Plan



NOT APPROVED FOR CONSTRUCTION	
 <p><b>STONEFIELD</b> engineering &amp; design</p> <p><small>Rutherford, NJ • New York, NY • Boston, MA Princeton, NJ • Tampa, FL • Denver, CO www.stonefielddesign.com Riverview Tower, 400 N. Ashby Drive, Suite 1900, Tampa, FL 33602 Phone: 656.887.2662</small></p>	<p><b>SUNCOAST TECHNICAL COLLEGE COMMERCIAL OUTPARCELS</b></p> <p><small>SUNCOAST TECHNICAL COLLEGE COMMERCIAL SUBDIVISION, LOT 14 CITY OF NORTH PORT PASCO COUNTY, FLORIDA</small></p>
<p><b>STONEFIELD</b> engineering &amp; design</p>	<p>JAMES S. WINDHAM, P.E. REGISTERED PROFESSIONAL ENGINEER NO. 12345 - STATE OF FLORIDA</p>
SCALE: 1" = 40'	PROJECT ID: FMS12
TITLE: DEMOLITION PLAN (I)	
DRAWING: C-2.0	

# Exhibit C - Development Master Plan



SYMBOL	DESCRIPTION
[Symbol]	FEATURE TO BE REMOVED / DEMOLISHED
[Symbol]	LEFT OF DISTURBANCE
[Symbol]	PROPERTY LINE
[Symbol]	EXISTING WETLAND LINE
[Symbol]	EXISTING WETLAND THRESHOLD
[Symbol]	FILL AND DRAINAGE
[Symbol]	GRASS TO BE REMOVED
[Symbol]	FULL DEPTH ASPHALT REMOVAL

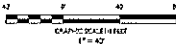
**DEMOLITION NOTES**

1. THE WORK PERMITTED BY THIS DEMOLITION PLAN IS TO REMOVE GENERAL INFORMATION REGARDING THE EXISTING ITEMS TO BE DEMOLISHED AND TO PROVIDE THE LOCATION IS NECESSARY TO REMOVE THE EXISTING PLAN SET AND ASSOCIATED INFRASTRUCTURE ELEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH FORT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH FORT.
3. BEFORE ANY COMMENCEMENT OF WORK, THE CONTRACTOR SHALL CONDUCT A VISUAL SURVEY OF THE SITE TO VERIFY THE LOCATION AND EXTENT OF THE DISTURBANCE AREAS AS SHOWN ON THIS PLAN. ANY DISCREPANCIES SHOULD BE REPORTED TO THE CONTRACTOR IMMEDIATELY.
4. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AND SHALL BE PROTECTED FROM FUTURE CONSTRUCTION. RESTORATION SHALL BE COMPLETED WITHIN 90 DAYS OF THE COMPLETION OF THE DEMOLITION WORK.
5. EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED THROUGHOUT THE PROJECT. ANY NECESSARY REPAIRS SHALL BE COMPLETED BEFORE THE DEMOLITION WORK COMMENCES.

ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF SIGNIFICANT DISCREPANCIES ARE DISCOVERED BETWEEN THIS PLAN AND FIELD CONDITIONS



Know what's below  
Call before you dig.



<p align="center"><b>NOT APPROVED FOR CONSTRUCTION</b></p>							
<p><b>STONEFIELD</b> engineering &amp; design</p>							
<p>Route 1, New York, NY - Boston, MA Plymouth, NJ - Tampa, FL - Denver, CO www.stonefieldinc.com</p>							
<p>Everglades Tower, 400 N. Ashley Drive, Suite 1900, Tampa, FL 33602 Phone: 855.889.9852</p>							
<p><b>SUNCOAST TECHNICAL COLLEGE COMMERCIAL OUTPARCELS</b></p>							
<p>SUNCOAST TECHNICAL COLLEGE COMMERCIAL SUBDIVISION, LOT 14 CITY OF NORTH FORT SUNCOAST COUNTY, FLORIDA</p>							
<p><b>JAMES S. RENZI, P.E.</b> REGISTERED PROFESSIONAL ENGINEER LICENSE NO. 12887-A, STATE OF FLORIDA</p>							
<p><b>STONEFIELD</b> engineering &amp; design</p>							
SCALE:	1" = 40'	PROJECT ID:	F2124				
TITLE:	DEMOLITION PLAN (2)						
DRAWING:	C-2.1						

# Exhibit C - Development Master Plan

**GENERAL NOTES**

- 1. THE CONTRACTOR SHALL VERIFY AND FURNISH THE PRELIMINARY DATA WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK FOLLORING THE CITY OF NORTH TOLEDO'S REGULATIONS AND THE PROPOSED PLANNING REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH TOLEDO PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH TOLEDO PRIOR TO THE START OF CONSTRUCTION.
- 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NORTH TOLEDO'S REGULATIONS AND THE PROPOSED PLANNING REGULATIONS. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH TOLEDO PRIOR TO THE START OF CONSTRUCTION.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH TOLEDO PRIOR TO THE START OF CONSTRUCTION.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH TOLEDO PRIOR TO THE START OF CONSTRUCTION.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH TOLEDO PRIOR TO THE START OF CONSTRUCTION.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH TOLEDO PRIOR TO THE START OF CONSTRUCTION.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH TOLEDO PRIOR TO THE START OF CONSTRUCTION.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH TOLEDO PRIOR TO THE START OF CONSTRUCTION.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH TOLEDO PRIOR TO THE START OF CONSTRUCTION.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH TOLEDO PRIOR TO THE START OF CONSTRUCTION.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH TOLEDO PRIOR TO THE START OF CONSTRUCTION.
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH TOLEDO PRIOR TO THE START OF CONSTRUCTION.

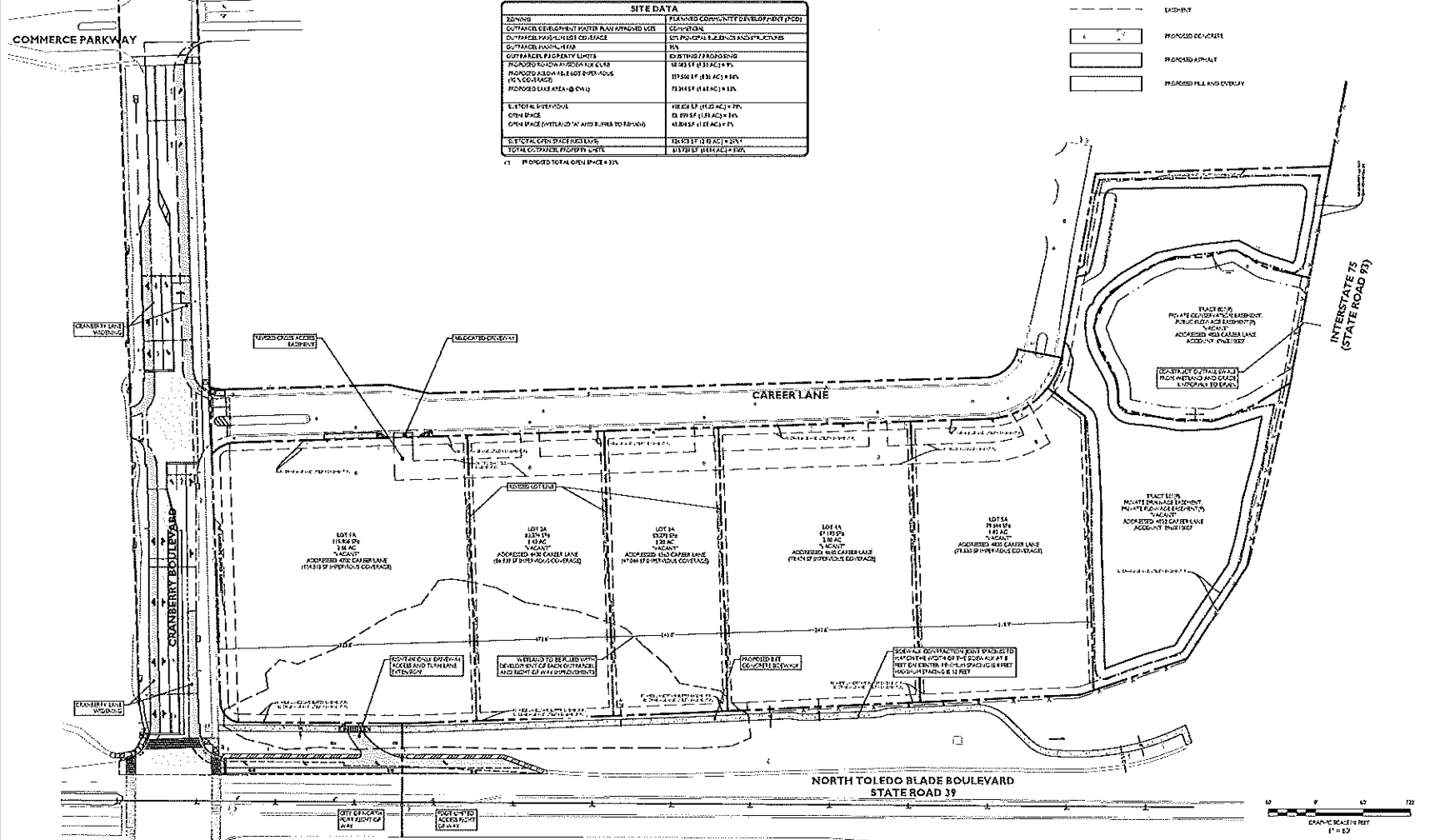
**OUTPARCEL DEVELOPMENT NOTES**

- 1. ALL OUTPARCEL DEVELOPMENT SHALL FOLLOW THE CITY OF NORTH TOLEDO'S REGULATIONS AND THE PROPOSED PLANNING REGULATIONS. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH TOLEDO PRIOR TO THE START OF CONSTRUCTION.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH TOLEDO PRIOR TO THE START OF CONSTRUCTION.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH TOLEDO PRIOR TO THE START OF CONSTRUCTION.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH TOLEDO PRIOR TO THE START OF CONSTRUCTION.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH TOLEDO PRIOR TO THE START OF CONSTRUCTION.

**SYMBOL DESCRIPTION**

- PROPOSED LINE
- TOP OF DRAIN
- EXISTING CURB
- EXISTING DRIVEWAY
- SHADELINE
- PROPOSED CURB
- EXISTENT
- PROPOSED DRIVEWAY
- PROPOSED ASPHALT
- PROPOSED FILL AND COVER

SITE DATA	
GENERIC OUTPARCEL DEVELOPMENT MASTER PLAN APPROVED USE	EXISTING COMMUNITY DEVELOPMENT (PCD)
OUTPARCEL PARCELS LOT 10-14	371,450 SQ. FT. (8.47 AC.)
OUTPARCEL PARCELS LOT 15	52,100 SQ. FT. (1.19 AC.)
OUTPARCEL PARCELS LOT 16	52,100 SQ. FT. (1.19 AC.)
OUTPARCEL PARCELS LOT 17	52,100 SQ. FT. (1.19 AC.)
OUTPARCEL PARCELS LOT 18	52,100 SQ. FT. (1.19 AC.)
PROPOSED TOTAL GROUND COVER	1,038,000 SQ. FT. (23.70 AC.)
PROPOSED TOTAL OPEN SPACE	1,038,000 SQ. FT. (23.70 AC.)
PROPOSED TOTAL CURB SPACE	1,038,000 SQ. FT. (23.70 AC.)
PROPOSED TOTAL DRIVEWAY	1,038,000 SQ. FT. (23.70 AC.)



**STONEFIELD**  
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**SUNCOAST TECHNICAL COLLEGE COMMERCIAL OUTPARCELS**

JAMES S. MINORAN, P.E.  
REGISTERED PROFESSIONAL ENGINEER  
FLORIDA LICENSE NO. 13674

SCALE: 1" = 40'  
PROJECT ID: F-1010  
DATE: 8/1/20  
TITLE: MASTER SITE PLAN  
DRAWING: C-3.0

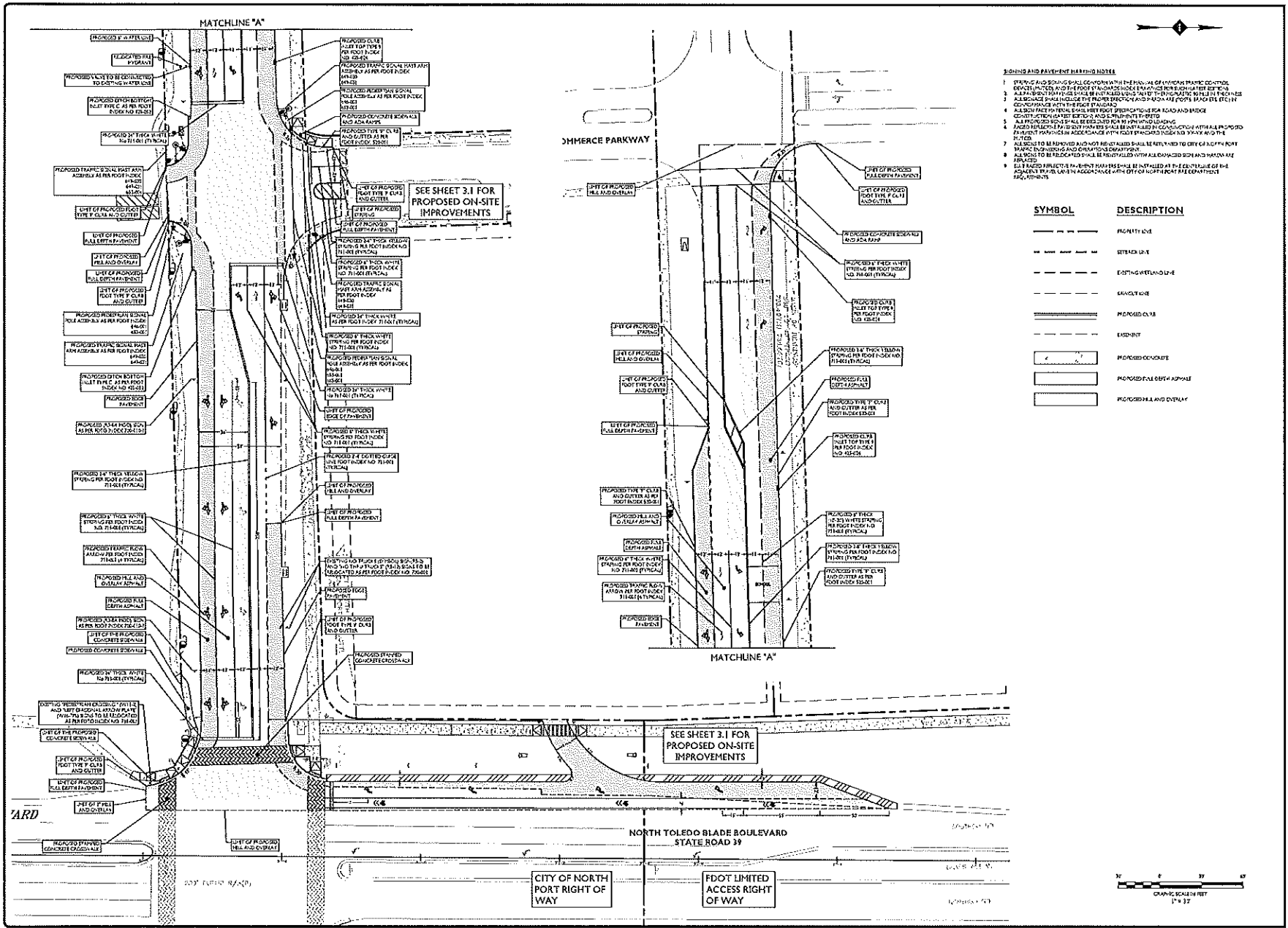
NOT APPROVED FOR CONSTRUCTION

STONEFIELD engineering & design  
Riverside, NJ • New York, NY • Boston, MA  
Phoenix, AZ • Dallas, TX  
www.stonefielddesign.com  
Navigation: Torrey, 400 N Ashley Drive, Suite 1900, Tampa, FL 33602  
Phone: 866.887.6642

DATE: 8/1/20  
BY: [Signature]



Exhibit C - Development Master Plan



- NOTES AND EXPLANATORY MATERIAL**
1. PERMITS AND SHEDS SHALL COMPLY WITH THE MAXIMUM HEIGHT PERMITS CONTROL REGULATIONS, AND THE PROPOSED SHEDS SHALL BE PERMITTED BY THE CITY.
  2. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED. THE UTILITIES SHALL BE MAINTAINED AND PROTECTED IN ACCORDANCE WITH THE FLORIDA UTILITIES CODE, CHAPTER 350, F.S., AND THE CITY OF NORTH PORT.
  3. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED IN ACCORDANCE WITH THE FLORIDA UTILITIES CODE, CHAPTER 350, F.S., AND THE CITY OF NORTH PORT.
  4. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED IN ACCORDANCE WITH THE FLORIDA UTILITIES CODE, CHAPTER 350, F.S., AND THE CITY OF NORTH PORT.
  5. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED IN ACCORDANCE WITH THE FLORIDA UTILITIES CODE, CHAPTER 350, F.S., AND THE CITY OF NORTH PORT.
  6. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED IN ACCORDANCE WITH THE FLORIDA UTILITIES CODE, CHAPTER 350, F.S., AND THE CITY OF NORTH PORT.
  7. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED IN ACCORDANCE WITH THE FLORIDA UTILITIES CODE, CHAPTER 350, F.S., AND THE CITY OF NORTH PORT.
  8. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED IN ACCORDANCE WITH THE FLORIDA UTILITIES CODE, CHAPTER 350, F.S., AND THE CITY OF NORTH PORT.

SYMBOL	DESCRIPTION
—	PROPERTY LINE
---	SETBACK LINE
-.-.-	EXISTING UTILITIES LINE
---	PROPOSED UTILITY
-.-.-	EXISTENT
---	PROPOSED CONCRETE
---	PROPOSED SIDEWALK ASPHALT
---	PROPOSED HILL AND OVERLAY

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Princeton, NJ - Tampa, FL - Denver, CO  
www.stonefieldeng.com  
Riverview, Texas, 400 N. Ashley Drive, Suite 1900, Tampa, FL 33602  
Phone 855.809.2642

---

**FDOT CONSTRUCTION AGREEMENT**

**SUNCOAST TECHNICAL  
COLLEGE COMMERCIAL  
OUTPARCELS**

JAMES S. KRIVOSIAN, P.E.  
22201 US HWY 90 N  
SUITE 200  
MUNICH, FL 34786

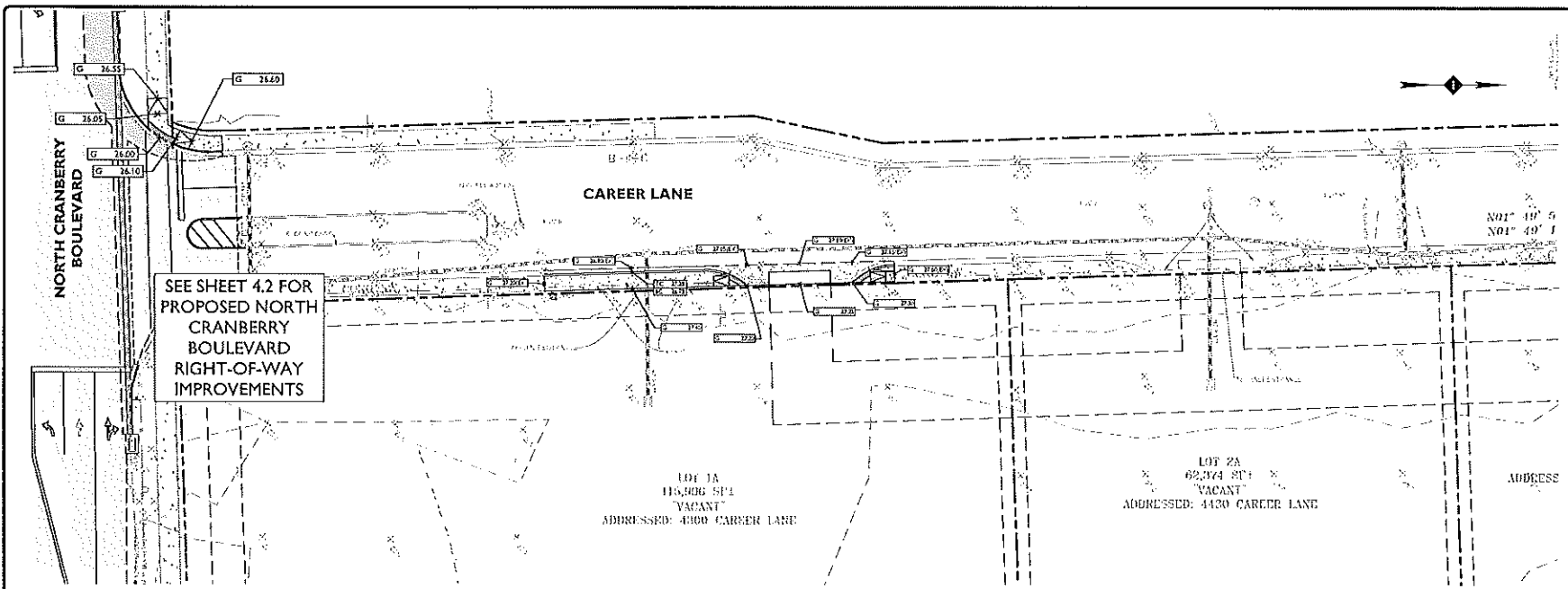
**STONEFIELD**  
Engineering & Design

SCALE: 1"=30'  
PROJECT ID: 241020  
TITLE:  
**SITE PLAN (2)**

DATE:  
**C-3.2**



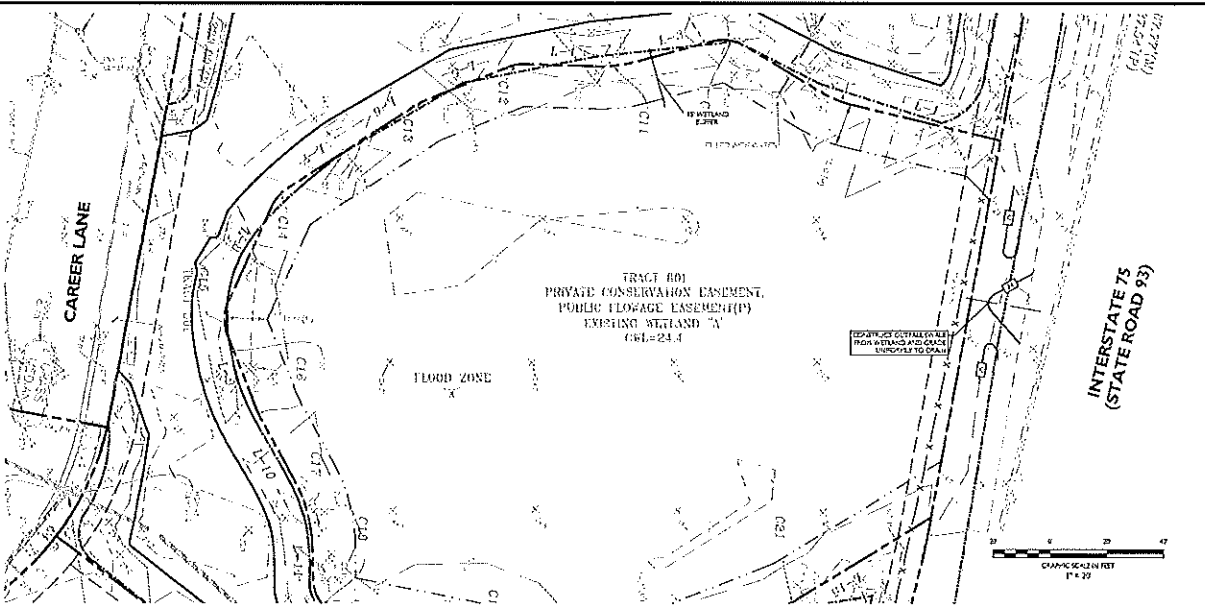
# Exhibit C - Development Master Plan



SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	PROPERTY LINE		PROPOSED ELEVATION
	PROPOSED CENTERLINE		PROPOSED EARTH ASPHALT
	PROPOSED GRADE SPOT-POINT		PROPOSED FILL AND GRAVEL
	PROPOSED EXISTING GRADE		
	PROPOSED TOP OF EARTH BOTTOM OF CURB SPOT-POINT		

**GRADING NOTES**

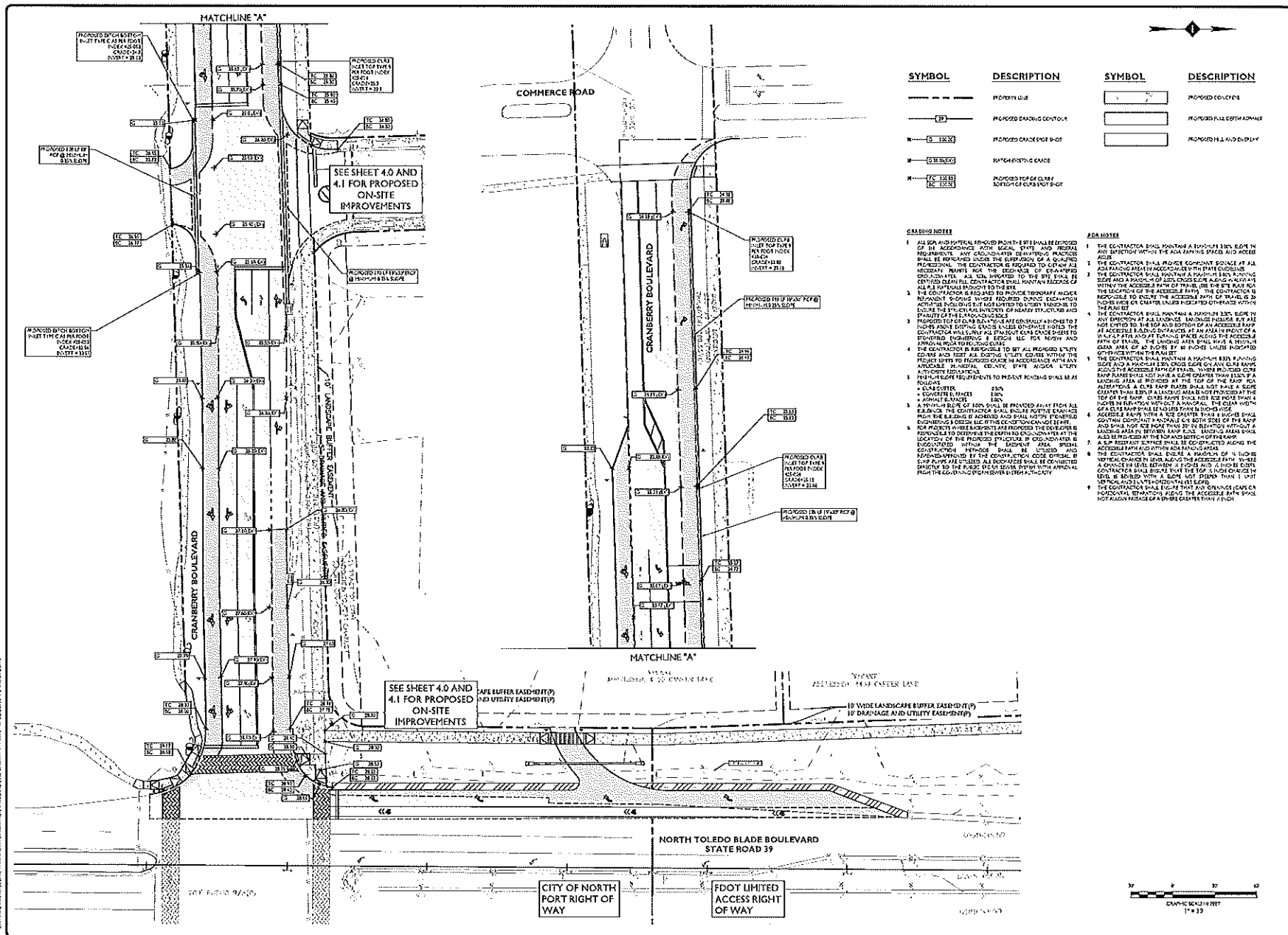
- ALL EXISTING UTILITIES SHOWN ON THIS SHEET SHALL BE DELETED BY THE CONTRACTOR WITH LOCAL, STATE, AND FEDERAL AGENCIES. ALL UTILITIES SHALL BE REMOVED FROM THE SITE PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS FOR THE REMOVAL OF EXISTING UTILITIES. ALL UTILITIES TO BE REMOVED SHALL BE IDENTIFIED BY THE CONTRACTOR AND SHALL BE REMOVED PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE TO PROTECT EXISTING AND NEW UTILITIES. THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL VERIFY ALL ELEVATIONS TO BE PROVIDED BY THE DESIGNER AND SHALL BE RESPONSIBLE FOR ANY CORRECTIONS. THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL ELEVATIONS AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS FOR THE REMOVAL OF EXISTING UTILITIES. ALL UTILITIES TO BE REMOVED SHALL BE IDENTIFIED BY THE CONTRACTOR AND SHALL BE REMOVED PRIOR TO THE START OF CONSTRUCTION.
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- THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS FOR THE REMOVAL OF EXISTING UTILITIES. ALL UTILITIES TO BE REMOVED SHALL BE IDENTIFIED BY THE CONTRACTOR AND SHALL BE REMOVED PRIOR TO THE START OF CONSTRUCTION.



<b>NOT APPROVED FOR CONSTRUCTION</b>	
<b>STONEFIELD</b> engineering & design 1000 N. 10th St., Suite 100, Tampa, FL 33602 Phone: 813.289.2442	
<b>SUNCOAST TECHNICAL COLLEGE COMMERCIAL OUTPARCELS</b> TRACT 801 PRIVATE CONSERVATION EASEMENT, PUBLIC FLOODING EASEMENT (P), EXISTING WETLAND "A", 134.1 ± 24.4	
<b>STONEFIELD</b> engineering & design SCALE: 1" = 10' PROJECT ID: K1011 TITLE: GRADING PLAN (1) DRAWING: C-4.0	



# Exhibit C - Development Master Plan



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Ft. Lauderdale, FL - Dallas, TX  
www.stonefielddesign.com  
Phone: 856.889.8462

**FOOT CONSTRUCTION AGREEMENT**  
**SUNCOAST TECHNICAL COLLEGE COMMERCIAL OUTPARCELS**

SUNCOAST TECHNICAL COLLEGE COMMERCIAL SUBDIVISION, LOT 1  
CITY OF NORTH PORT  
FLORIDA COUNTY, FLORIDA

**STONEFIELD**  
engineering & design

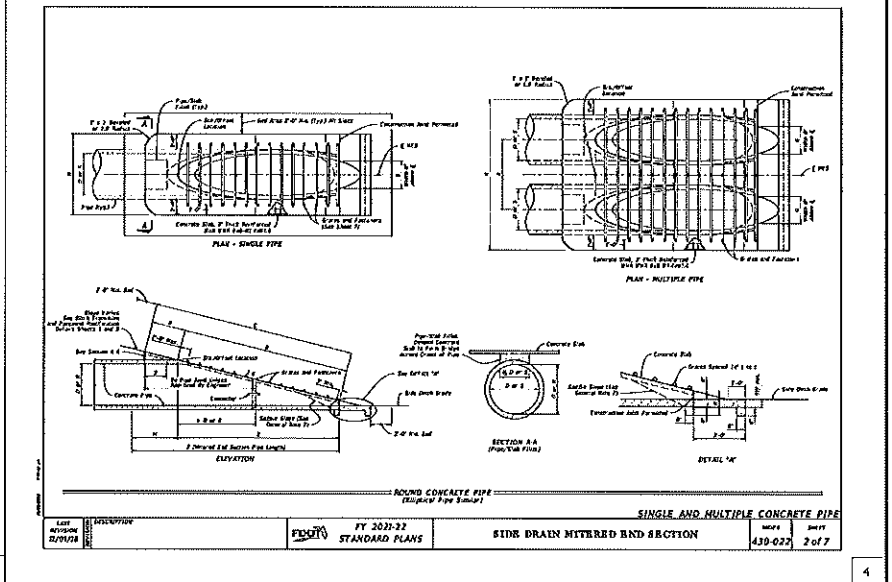
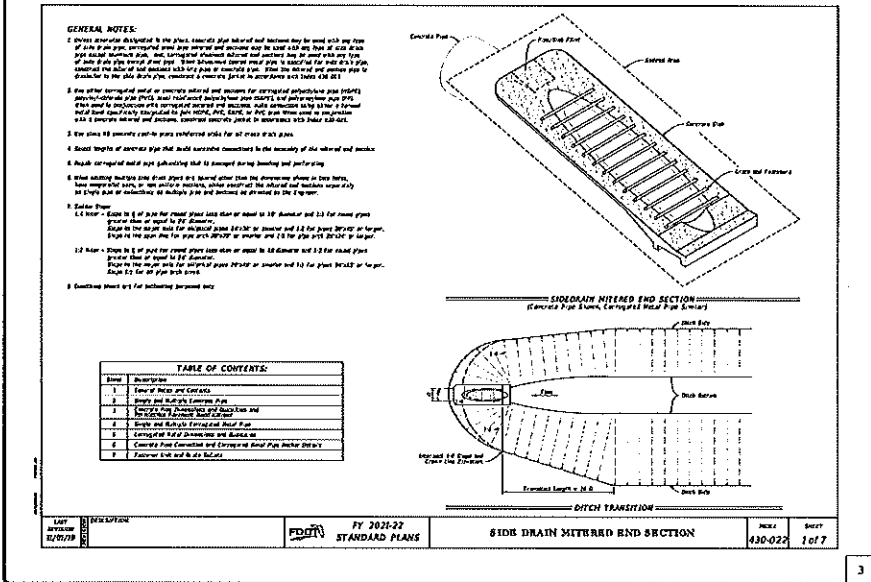
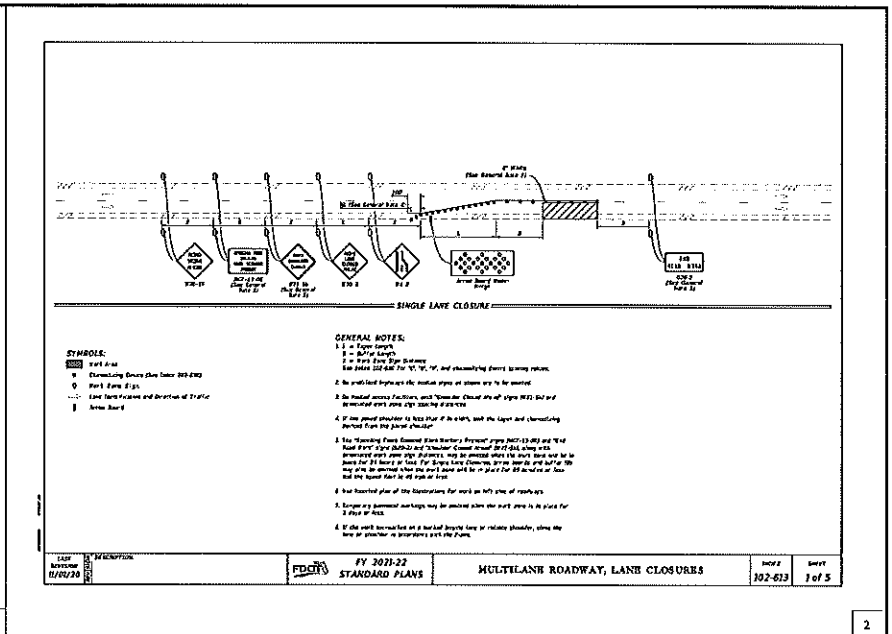
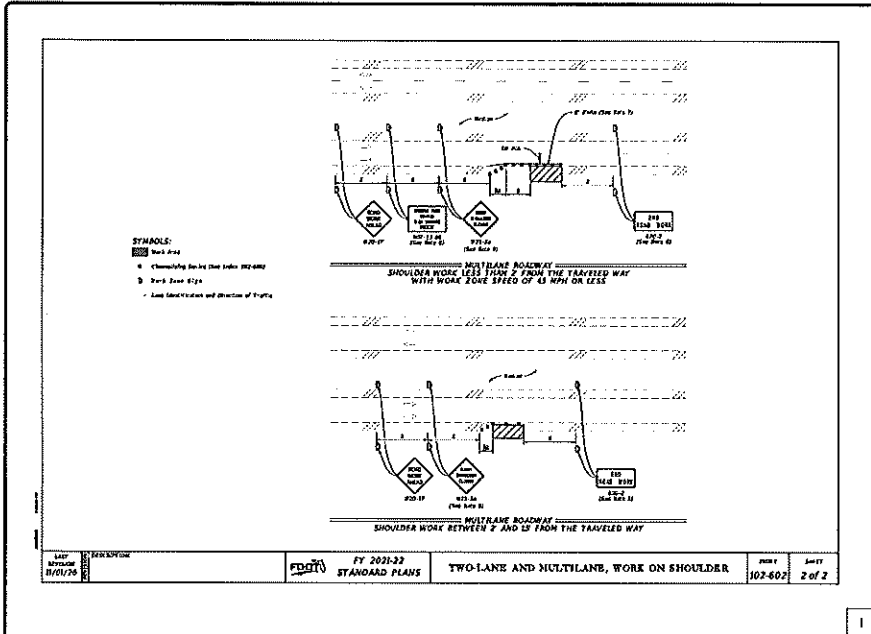
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TITLE: GRADING PLAN (3)  
DRAWING: C-4.2

NO.	DATE	BY	DESCRIPTION





# Exhibit C - Development Master Plan



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Princeton, NJ - Tampa, FL - Detroit, MI  
www.stonefielddesign.com

Reverage Turner, 400 N. Ashler Drive, Suite 100N, Tampa, FL 33602  
Phone: 858.892.0832

DATE	BY	DESCRIPTION

SITE DEVELOPMENT PLANS

**SUNCOAST TECHNICAL COLLEGE COMMERCIAL OUTPARCELS**

JAMES S. KINOBAN, P.E.  
FORWARD BY THE BOARD  
APPROVED BY THE BOARD  
12/15/20

**STONEFIELD**  
engineering & design

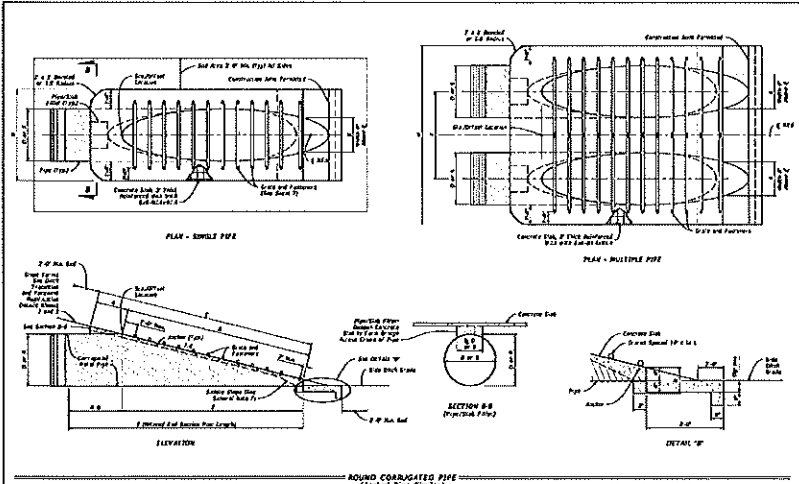
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TITLE: CONSTRUCTION DETAILS (2)

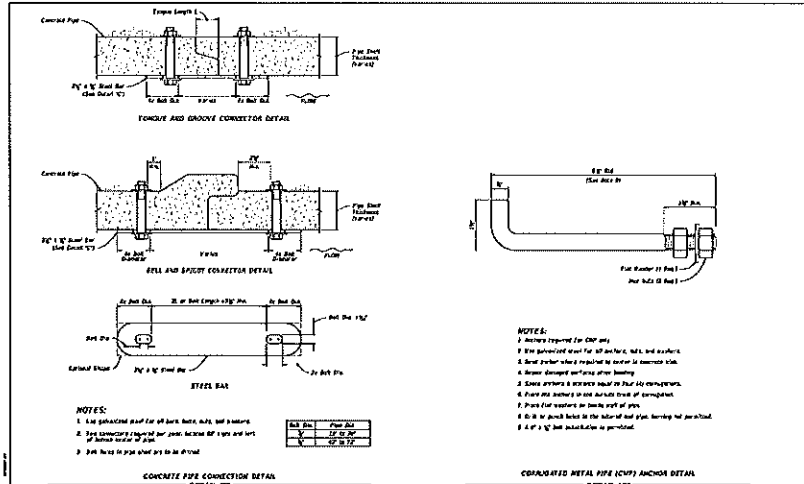
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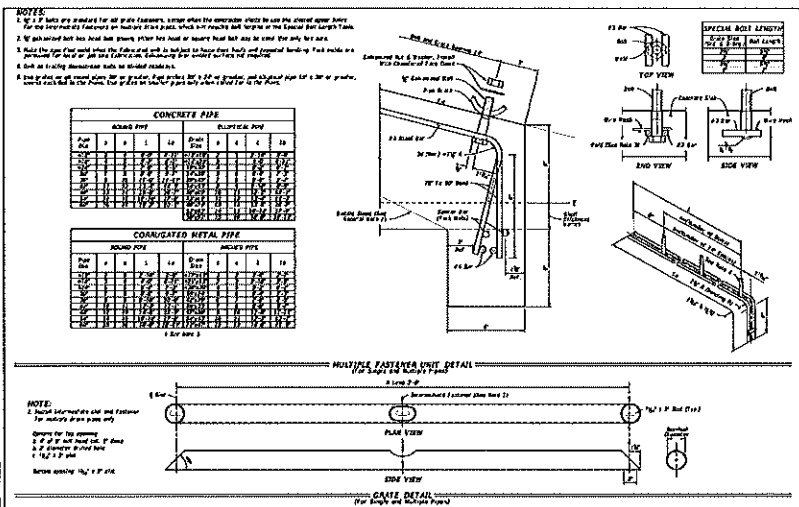
# Exhibit C - Development Master Plan



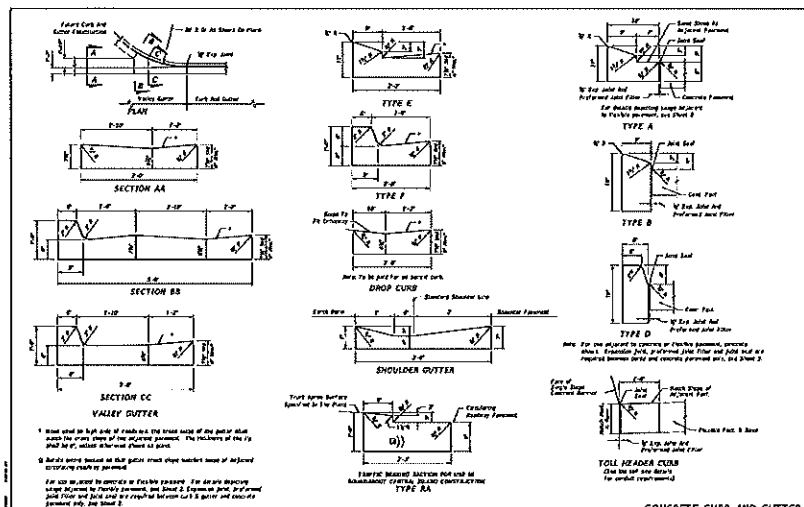
DATE	REVISION	DESCRIPTION	PROJECT	SHEET	TOTAL
			FY 2021-22 STANDARD PLANS	430-022	4 of 7



DATE	REVISION	DESCRIPTION	PROJECT	SHEET	TOTAL
			FY 2021-22 STANDARD PLANS	430-022	6 of 7



DATE	REVISION	DESCRIPTION	PROJECT	SHEET	TOTAL
			FY 2021-22 STANDARD PLANS	430-022	7 of 7



DATE	REVISION	DESCRIPTION	PROJECT	SHEET	TOTAL
			FY 2021-22 STANDARD PLANS	520-001	1 of 2

**NOT APPROVED FOR CONSTRUCTION**

**STONEFIELD**  
Engineering & Design

1000 West 17th Street, Suite 100  
Tampa, FL 33606  
Phone: 813.889.2462

DATE	BY	DESCRIPTION

**SUNCOAST TECHNICAL COLLEGE COMMERCIAL OUTPARCELS**

SUNCOAST TECHNICAL COLLEGE COMMERCIAL SUBDIVISION, LOT 14  
1400 WEST 17TH STREET, SUITE 100  
TAMPA, FLORIDA 33606

**STONEFIELD**  
Engineering & Design

JAMES S. KNOX, P.E.  
LEADS ALL AS IN TITLE  
REGISTERED PROFESSIONAL ENGINEER  
LICENSE NO. 12500  
STATE OF FLORIDA

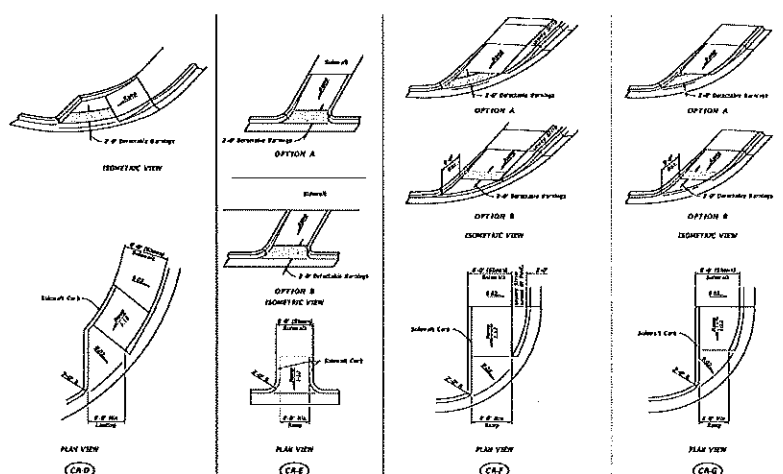
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**CONSTRUCTION DETAILS (3)**

DATE: 01/11/2022

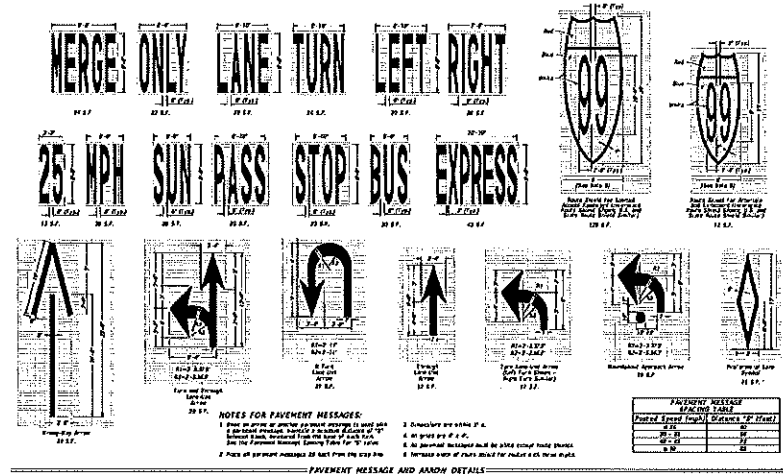
**C-6.2**

# Exhibit C - Development Master Plan



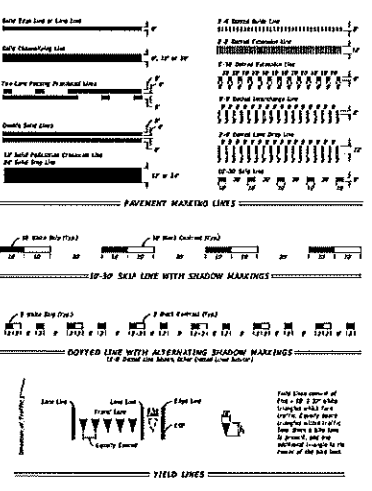
**SIDEWALK CURB RAMPS CR-0, CR-1, CR-2 & CR-3**

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						522-002	4 of 7

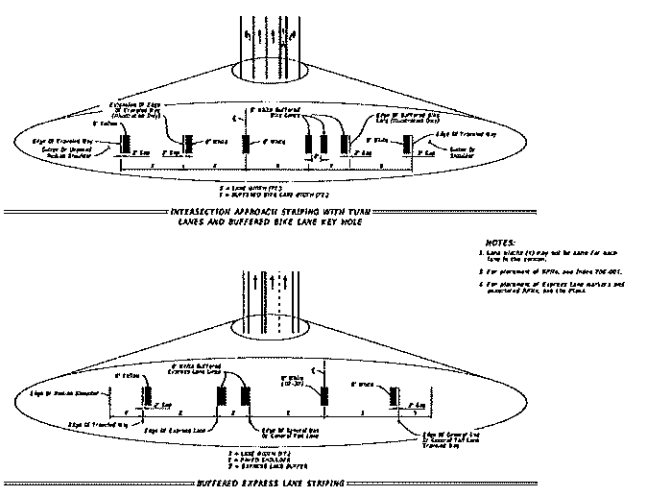


**PAVEMENT MESSAGE AND ARROW DETAILS**

LEAF NUMBER	DESCRIPTION	FDOT	FY 2021-22	STANDARD PLANS	PAVEMENT MARKINGS	SHEET	SHEET
						712-001	2 of 14



LEAF NUMBER	DESCRIPTION	FDOT	FY 2021-22	STANDARD PLANS	PAVEMENT MARKINGS	SHEET	SHEET
						712-001	2 of 14



**PLACEMENT OF LONGITUDINAL PAVEMENT MARKINGS**

LEAF NUMBER	DESCRIPTION	FDOT	FY 2021-22	STANDARD PLANS	PAVEMENT MARKINGS	SHEET	SHEET
						712-001	4 of 14

DATE	BY	DESCRIPTION

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Princeton, NJ - Tampa, FL - Dallas, TX  
www.stonfieldeng.com  
Beverly Towers, 400 N. Ashley Drive, Suite 1920, Tampa, FL 33602  
Phone: 855.689.7662

**SITE DEVELOPMENT PLANS**

**SUNCOAST TECHNICAL  
COLLEGE COMMERCIAL  
OUTPARCELS**

JAMES S. KINZDORF, P.E.  
REGISTERED PROFESSIONAL ENGINEER  
LICENSED IN THE STATES OF FLORIDA, ILLINOIS, AND MISSISSIPPI  
STONFIELD ENGINEERING & DESIGN

**STONEFIELD**  
engineering & design

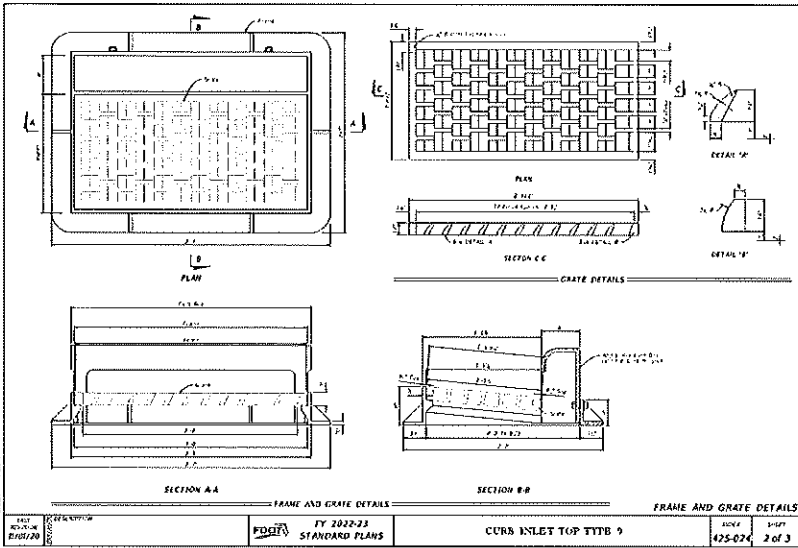
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TITLE: CONSTRUCTION DETAILS (4)  
DRAWING: C-6.3

**CONSTRUCTION  
DETAILS (4)**

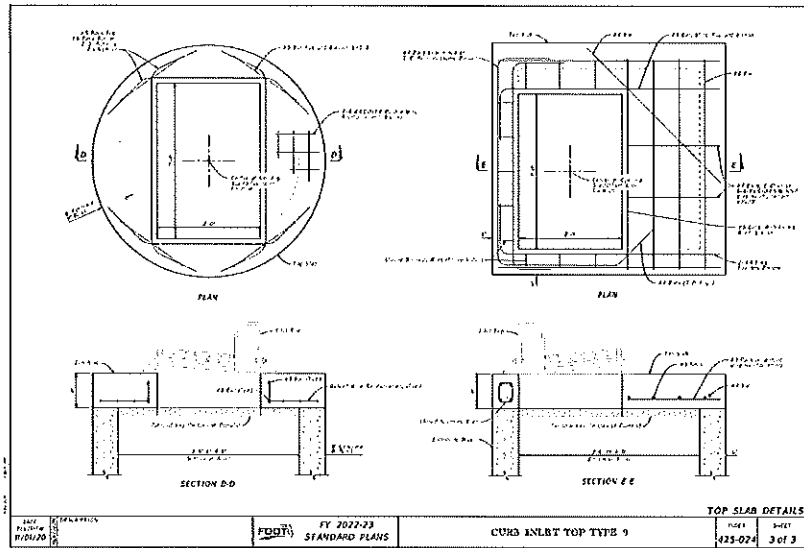
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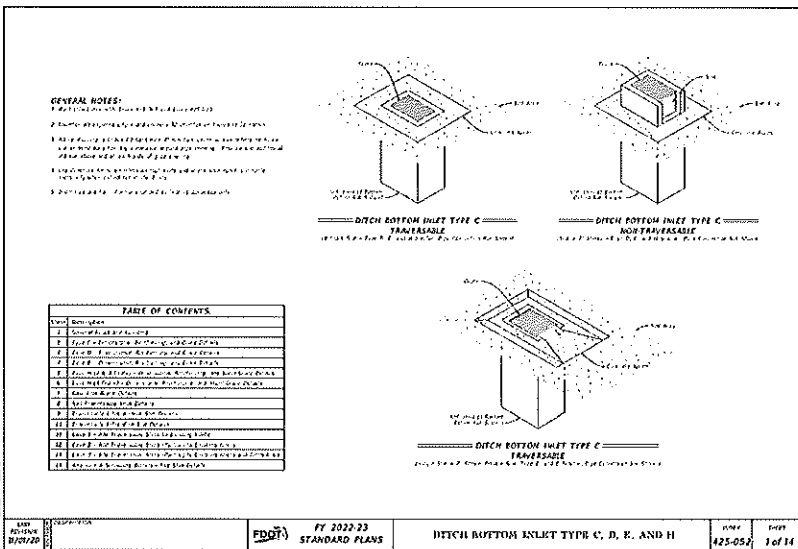
# Exhibit C - Development Master Plan



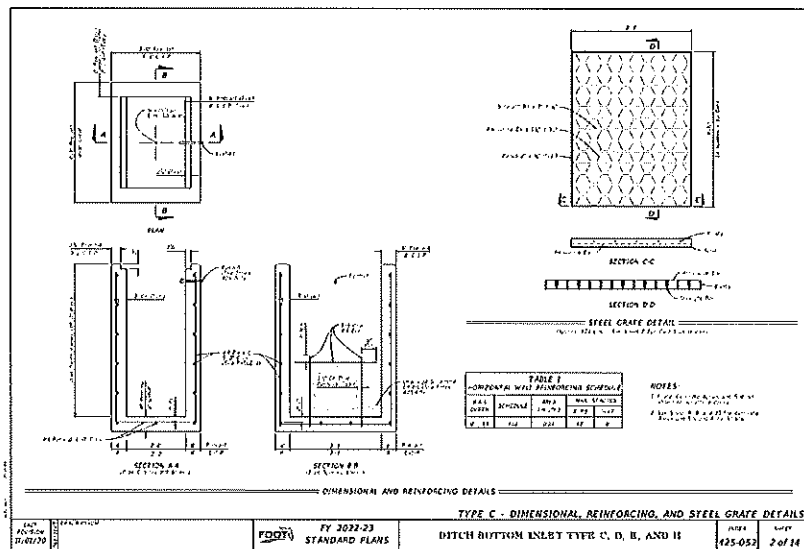
DATE 12/27/20	DESCRIPTION FDOT	FY 2022-23 STANDARD PLANS	TYPE 425-024	SHEET 2 of 3
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DATE 12/27/20	DESCRIPTION FDOT	FY 2022-23 STANDARD PLANS	TYPE 425-024	SHEET 3 of 3
------------------	---------------------	------------------------------	-----------------	-----------------



DATE 12/27/20	DESCRIPTION FDOT	FY 2022-23 STANDARD PLANS	TYPE 425-052	SHEET 1 of 14
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DATE 12/27/20	DESCRIPTION FDOT	FY 2022-23 STANDARD PLANS	TYPE 425-052	SHEET 2 of 14
------------------	---------------------	------------------------------	-----------------	------------------

	DATE	BY	DESCRIPTION

**NOT APPROVED FOR CONSTRUCTION**

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engineering & design

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 Princeton, NJ - Tampa, FL - Denver, CO  
 www.stonfield.com

Everglades Tower: 400 N. Ashby Drive, Suite 1920, Tampa, FL 33602  
 Phone: 855.891.2462

---

**SUNCOAST TECHNICAL**

**COLLEGE COMMERCIAL**

**OUTPARCELS**

SUNCOAST TECHNICAL COLLEGE COMMERCIAL SUBDIVISION, LOT 15  
 CITY OF NORTH PORT  
 HILLSBOROUGH COUNTY, FLORIDA

**JAMES S. KINOSIAN, P.E.**  
 LICENSED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: 39635

**STONEFIELD**  
engineering & design

SCALE: AS SHOWN PROJECT ID: M131

**CONSTRUCTION**  
**DETAILS (4)**

DATE: 12/27/20

**C-6.5**

# Exhibit C - Development Master Plan

**TABLE B  
CONCRETE TYPES  
AND DIMENSIONS  
FOR ALL TYPES**

Item	Size	Code
1	4" x 8" x 8"	1
2	4" x 8" x 8"	2
3	4" x 8" x 8"	3
4	4" x 8" x 8"	4
5	4" x 8" x 8"	5
6	4" x 8" x 8"	6

**NOTES**  
1. See Section 02100 for details of concrete types.  
2. See Section 02100 for details of concrete types.

**TRAVERSABLE INLET WITHOUT SLOT DETAILS**

DATE: 10/11/23  
DRAWN BY: [Redacted]  
PROJECT: FY 2023-23 STANDARD PLANS  
DITCH BOTTOM INLET TYPE C, D, E, AND H  
SHEET NO: 423-052  
OF: 9 of 14

**NOTES**

1. See Section 02100 for details of concrete types.
2. See Section 02100 for details of concrete types.
3. See Section 02100 for details of concrete types.
4. See Section 02100 for details of concrete types.
5. See Section 02100 for details of concrete types.
6. See Section 02100 for details of concrete types.
7. See Section 02100 for details of concrete types.
8. See Section 02100 for details of concrete types.
9. See Section 02100 for details of concrete types.
10. See Section 02100 for details of concrete types.

**ALUMINUM POST AND PRECAST MOUNTED  
PEDESTRIAN DETECTORS AND SIGNALS**

DATE: 10/11/23  
DRAWN BY: [Redacted]  
PROJECT: FY 2023-23 STANDARD PLANS  
ALUMINUM POST AND PRECAST MOUNTED  
PEDESTRIAN DETECTORS AND SIGNALS  
SHEET NO: 646-001  
OF: 1 of 1

ITEM	TYPE	SIZE	CODE	QTY	UNIT	AMOUNT	DATE
1	1	4" x 8" x 8"	1	1	1	1	10/11/23
2	2	4" x 8" x 8"	2	1	1	1	10/11/23
3	3	4" x 8" x 8"	3	1	1	1	10/11/23
4	4	4" x 8" x 8"	4	1	1	1	10/11/23
5	5	4" x 8" x 8"	5	1	1	1	10/11/23
6	6	4" x 8" x 8"	6	1	1	1	10/11/23
7	7	4" x 8" x 8"	7	1	1	1	10/11/23
8	8	4" x 8" x 8"	8	1	1	1	10/11/23
9	9	4" x 8" x 8"	9	1	1	1	10/11/23
10	10	4" x 8" x 8"	10	1	1	1	10/11/23

**STANDARD MAST ARM ASSEMBLIES**

DATE: 10/11/23  
DRAWN BY: [Redacted]  
PROJECT: FY 2023-23 STANDARD PLANS  
STANDARD MAST ARM ASSEMBLIES  
SHEET NO: 649-030  
OF: 1 of 1

**GENERAL NOTES**

1. See Section 02100 for details of concrete types.
2. See Section 02100 for details of concrete types.
3. See Section 02100 for details of concrete types.
4. See Section 02100 for details of concrete types.
5. See Section 02100 for details of concrete types.
6. See Section 02100 for details of concrete types.
7. See Section 02100 for details of concrete types.
8. See Section 02100 for details of concrete types.
9. See Section 02100 for details of concrete types.
10. See Section 02100 for details of concrete types.

**ELEVATION AND NOTES**

DATE: 10/11/23  
DRAWN BY: [Redacted]  
PROJECT: FY 2023-23 STANDARD PLANS  
MAST ARM ASSEMBLIES  
SHEET NO: 649-031  
OF: 1 of 6

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DATE: 10/11/23  
ISSUE: 01  
BY: [Redacted]

**SITE DEVELOPMENT PLANS**

**SUNCOAST TECHNICAL  
COLLEGE COMMERCIAL  
OUTPARCELS**

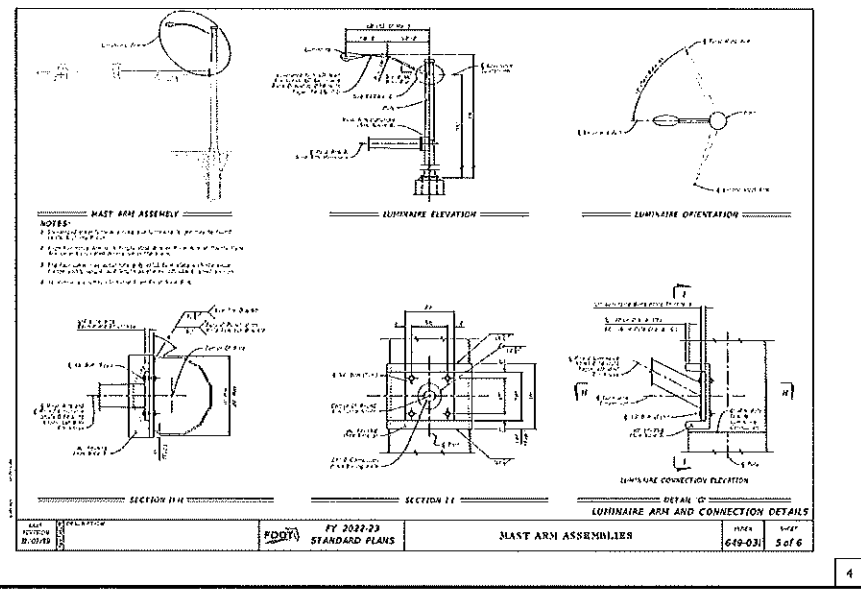
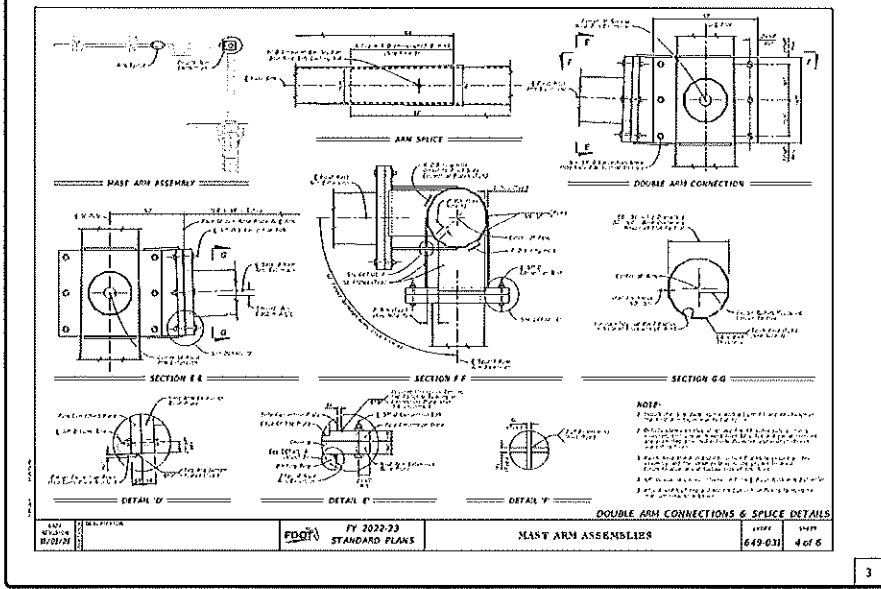
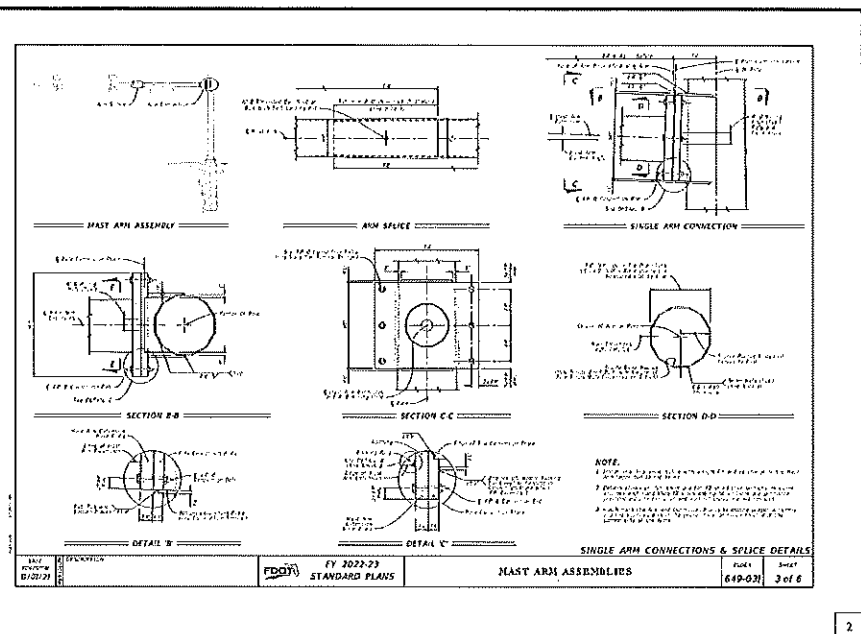
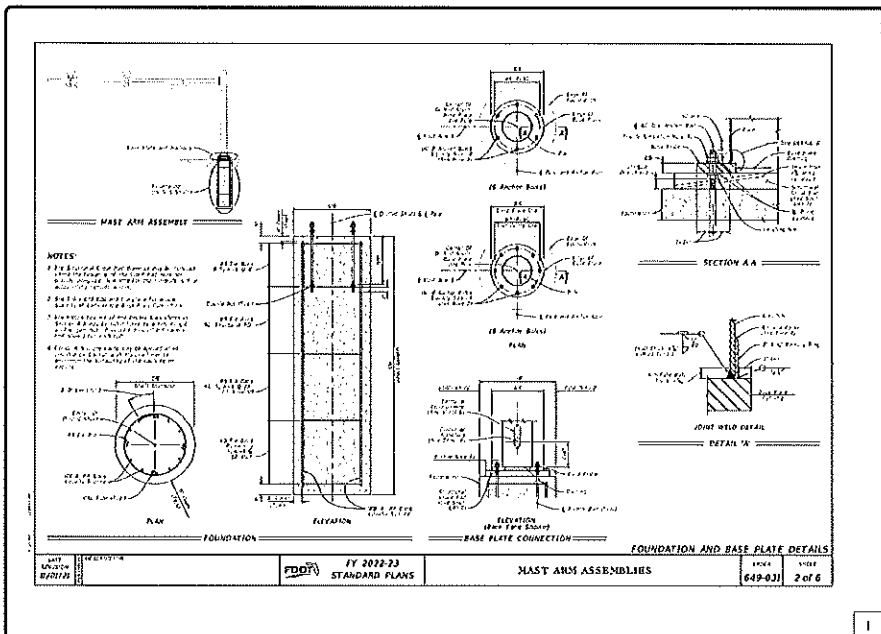
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SUNCOAST COUNTY, FLORIDA

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JAMES S. KRIGOSIAN, P.E.  
LEAD DESIGNER  
SECRETARY OF RECORDS

SCALE: AS SHOWN PROJECT D - FINISH  
TITLE: CONSTRUCTION DETAILS (7)  
SHEET NO: 649-031  
OF: 1 of 6  
C-6.6

# Exhibit C - Development Master Plan



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11/11/2021	ISSUED FOR PERMIT	JD

SITE DEVELOPMENT PLANS

**SUNCOAST TECHNICAL COLLEGE COMMERCIAL OUTPARCELS**

SUNCOAST TECHNICAL COLLEGE COMMERCIAL SUBDIVISION, LOT 14  
CITY OF NORTH PORT  
PINELLAS COUNTY, FLORIDA

JAMES S. KENNEDY, P.E.  
LICENSED PROFESSIONAL ENGINEER  
#15037-FL

**STONEFIELD**  
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SCALE: AS SHOWN | PROJECT ID: K1312  
TITLE: CONSTRUCTION DETAILS (8)  
DRAWING: C-6.7





# Exhibit C - Development Master Plan

**TABLE 1**  
HORIZONTAL BENDS AND ELBOWS  
(LENGTH OF RESTRAINED JOINT PIPE FEET)

NOMINAL PIPE DIAMETER	60° BENDS	90° BENDS	120° BENDS	150° BENDS
2	18	6	3	2
3	20	8	4	3
4	22	11	6	5
6	26	13	7	7
8	30	15	8	8
10	34	18	10	10
12	38	21	12	12
15	44	25	15	15
18	50	30	18	18
20	56	36	21	21
24	66	42	25	25
28	76	50	30	30
30	84	54	33	33
36	96	63	39	39
42	108	72	45	45
48	120	81	51	51
54	132	90	57	57
60	144	99	63	63

**TABLE 2**  
RESTRAINT TABLE

RESTRAINED DIAMETER OF BRANCH PIPE (INCHES)	RESTRAINED LENGTH ALONG BRANCH PIPE (FEET)	RESTRAINED DIAMETER OF MAIN PIPE (INCHES)	RESTRAINED LENGTH ALONG MAIN PIPE (FEET)
2	31	6	33
3	31	8	35
4	32	10	37
6	33	12	39
8	34	14	41
10	35	16	43
12	36	18	45
15	37	21	47
18	38	24	49
20	39	27	51
24	41	33	55
28	43	39	59
30	44	42	60
36	46	50	63
42	48	57	66
48	50	63	69
54	52	69	72
60	54	75	75

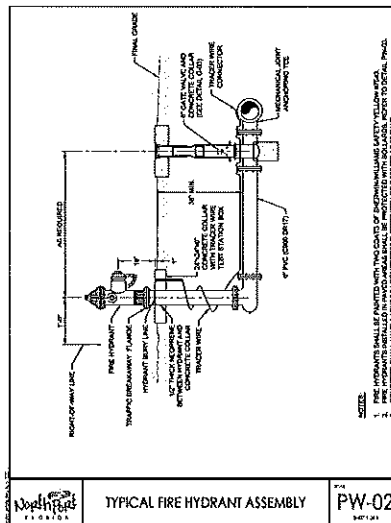
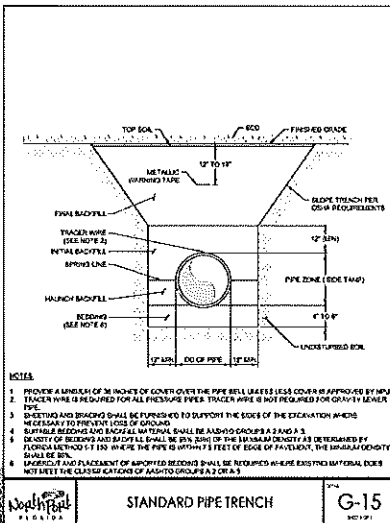
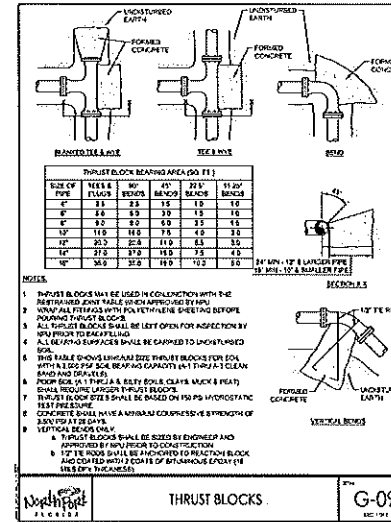
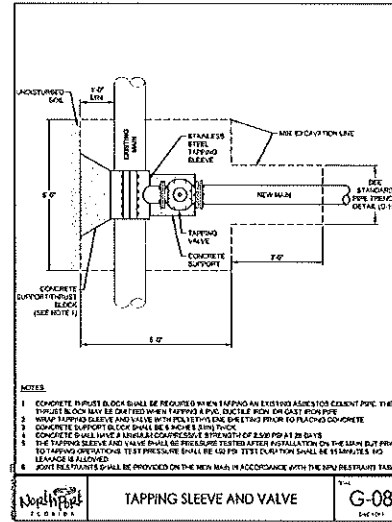
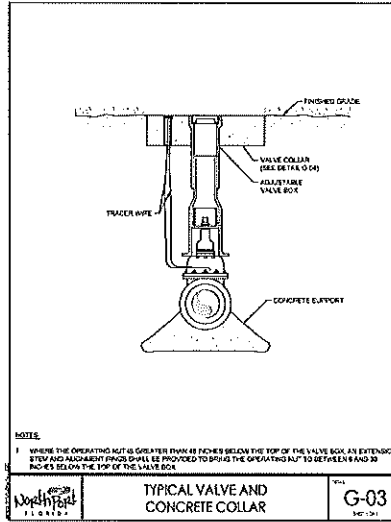
**TABLE 3**  
RESTRAINT TABLE

NOMINAL PIPE DIAMETER (INCHES)	RESTRAINED LENGTH ALONG PIPE (FEET)
2	23
3	23
4	23
6	23
8	23
10	23
12	23
15	23
18	23
20	23
24	23
28	23
30	23
36	23
42	23
48	23
54	23
60	23

**NOTES:**

- ALL FITTINGS SHALL HAVE AN FITTING JOINT UNLESS OTHERWISE NOTED.
- ALL PIPE SHALL BE RESTRAINED IN ACCORDANCE WITH THESE TABLES PER THE PLANS, WHOEVER IS GREATER.
- WHERE TWO OR MORE FITTINGS ARE TOGETHER, THE RESTRAINT SHALL BE IN ACCORDANCE WITH THE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
- RESTRAINT TABLES APPLY TO THE PRESSURE OF 150 PSI OR LESS.
- FOR PIPE ENCASED IN POLYETHYLENE, INCREASE THE GIVEN VALUE BY A FACTOR OF 1.5.
- RESTRAINT TABLES APPLY TO THE PRESSURE OF 150 PSI OR LESS.
- FOR PIPE ENCASED IN POLYETHYLENE, INCREASE THE GIVEN VALUE BY A FACTOR OF 1.5.
- LENGTH OF RESTRAINED PIPE INDICATED IN TABLES 1 & 2 SHALL BE THE LENGTH OF PIPE ON EACH SIDE OF VALVE OR FITTING.
- LENGTH OF RESTRAINED PIPE INDICATED IN TABLE 3 SHALL BE THE LENGTH OF PIPE ALONG BRANCH OF PIPE PIPE ON BOTH SIDES OF BRANCH SHALL HAVE A NOMINAL PIPE LENGTH OF 10 FEET.
- LENGTH OF RESTRAINED PIPE INDICATED IN TABLE 3 SHALL BE THE LENGTH OF PIPE ON LARGE END.

**NorthPoint** **G-02** (REV. 1/1)



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DATE: 1/1/11

SITE DEVELOPMENT PLANS

**SUNCOAST TECHNICAL COLLEGE COMMERCIAL OUTPARCELS**

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SCALE: AS SHOWN PROJECT ID: E4011  
 TITLE: CONSTRUCTION DETAILS (10)  
 DRAWING: C-6.9