

# DEVELOPMENT MASTER PLAN FOR THE WOODLANDS - PHASE 1

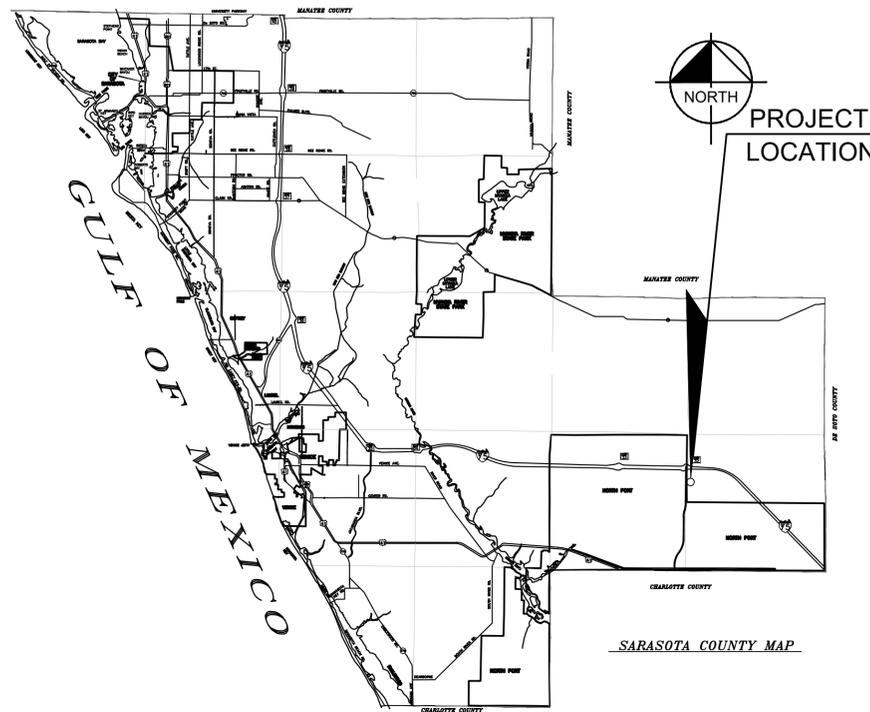
CITY OF NORTH PORT, FLORIDA  
SECTION 7, TOWNSHIP 39S, RANGE 22E.  
PID # 1094 - 00 - 3400 & # 1115 - 00 - 1000

PREPARED FOR

**BENDERSON DEVELOPMENT COMPANY, LLC**  
7978 COOPER CREEK BLVD  
UNIVERSITY PARK, FL 34201

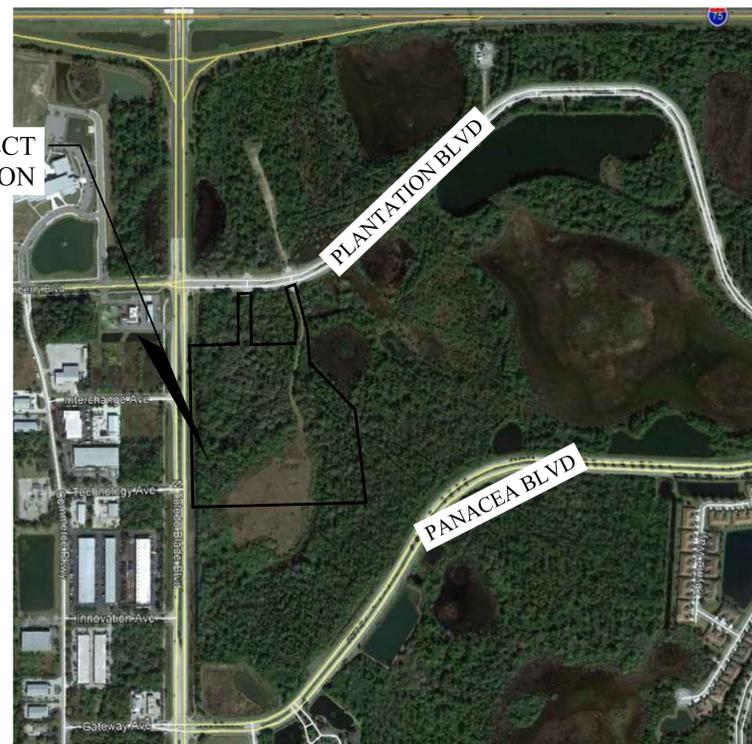


PROJECT LOCATION



LOCATION MAP

PROJECT LOCATION



VICINITY MAP

PREPARED BY



**Engineering ~ Environmental  
Water Resource ~ Survey**  
7978 Cooper Creek Blvd., Suite 102  
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Phone: 941.275.9721  
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Sheet List Table	
Sheet Number	Sheet Title
G-000	COVER SHEET
C-100	OVERALL PRELIMINARY DEVELOPMENT PLAN
C-101	PRELIMINARY DEVELOPMENT PLAN
C-102	PRELIMINARY DEVELOPMENT PLAN
C-103	PRELIMINARY DEVELOPMENT PLAN
C-201	PRELIMINARY ENGINEERING INTENT
C-202	PRELIMINARY ENGINEERING INTENT
C-203	PRELIMINARY ENGINEERING INTENT

GENERAL NOTES:

AT LEAST 72 HOURS IN ADVANCE OF BEGINNING CONSTRUCTION OF THE PROJECT, THE CONTRACTOR SHALL CONTACT THE LOCAL MAINTENANCE FDOT ENGINEER'S OFFICE TO SECURE GENERAL USE PERMITS AND/OR OTHER PERMITS AS REQUIRED FOR WORKING WITHIN THE DEPARTMENT'S RIGHT-OF-WAY.

FLORIDA DEPARTMENT OF TRANSPORTATION, FISCAL YEAR 2017/2018 DESIGN STANDARDS AND REVISED INDEX OF DRAWINGS AS AMENDED HEREIN, AND 2016 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS AMENDED BY CONTRACT DOCUMENTS.

FOR DESIGN STANDARDS CLINK ON THE "DESIGN STANDARDS" LINK AT THE FOLLOWING WEB SITE: <http://www.dot.state.fl.us/design/>

FOR THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION CLICK ON THE "SPECIFICATIONS" LINK AT THE FOLLOWING WEB SITE: <http://www.dot.state.fl.us/programmanagement/>

CALL 48 HOURS BEFORE YOU DIG



IT'S THE LAW!  
DIAL 811

Know what's below.  
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

2019 WRA  
 Plot Date: 11/20/2019 11:26:02 AM  
 CAD File Path: S:\PROJECT FILES\703- BENDERSON - THE WOODLANDS - PH1-CADD\PLANS\PLAN COVER - DM1.DWG

**LEGAL DESCRIPTION**  
TRACT "G" AND TRACT "H" AS PER THE PLAT OF PANACEA COMMERCIAL PARK PHASE 1, AS RECORDED IN PLAT BOOK 44 PAGE 16 OF THE PUBLIC RECORDS OF SARASOTA COUNTY FLORIDA; TOGETHER WITH THAT CERTAIN PARCEL OF LAND, LYING IN SECTIONS 7 AND 18, TOWNSHIP 39 SOUTH, RANGE 22 EAST, SARASOTA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCE AT THE SOUTHWEST CORNER OF SECTION 18, TOWNSHIP 39 SOUTH, RANGE 22 EAST; THENCE S 89°42'15" E, ALONG THE SOUTH LINE OF SAID SECTION 18, A DISTANCE OF 100.00' TO THE EASTERLY RIGHT-OF-WAY OF TOLEDO BLADE BOULEVARD PER F.D.O.T RESOLUTION RECORDED IN O.R. BOOK 1353, PAGE 876, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE N 00°31'46" E, ALONG SAID EASTERLY RIGHT-OF-WAY, A DISTANCE OF 3686.64' TO THE POINT OF BEGINNING. THENCE CONTINUE N 00°31'46" E ALONG SAID EASTERLY RIGHT-OF-WAY LINE A DISTANCE OF 2322.02' TO THE SOUTHWEST CORNER OF TRACT E AS PER THE PLAT OF PANACEA COMMERCIAL PARK PHASE 1, AS RECORDED IN PLAT BOOK 44 PAGE 16 OF THE PUBLIC RECORDS OF SARASOTA COUNTY FLORIDA; THENCE S 89°59'52" E ALONG THE SOUTH LINE OF SAID TRACT E AND ALONG THE SOUTH LINE OF LOT 17 A DISTANCE OF 304.88' TO THE SOUTHEAST CORNER OF LOT 17; THENCE N 00°00'06" E ALONG THE EAST LINE OF LOT 17 AND THE WEST LINE OF TRACT G A DISTANCE OF 324.48' TO THE SOUTHERLY PLATTED RIGHT OF WAY LINE OF PLANTATION BOULEVARD; THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE THE FOLLOWING THREE COURSES (1) S 89°59'54" E A DISTANCE OF 30.00'; (2) THENCE N 00°00'06" E A DISTANCE OF 10.00'; (3) THENCE S 89°59'54" E A DISTANCE OF 30.00' TO THE NORTHWEST CORNER OF LOT 16; THENCE S 00°00'06" W ALONG THE WEST LINE OF SAID LOT 16 A DISTANCE OF 334.48' TO THE SOUTHWEST CORNER OF SAID LOT 16; THENCE S 89°59'52" E ALONG THE SOUTH LINE OF SAID LOT 16 A DISTANCE OF 207.76' TO THE SOUTHEAST CORNER OF LOT 16;  
THENCE ALONG THE EASTERLY LINE OF SAID LOT 16 THE FOLLOWING (6) COURSES (1) N 00°00'06" E A DISTANCE OF 34.63'; (2) THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 104.96', WITH A RADIUS OF 235.00', WITH A CHORD BEARING OF N 12°47'47" E, WITH A CHORD LENGTH OF 104.09', WITH A DELTA ANGLE OF 25°35'23"; (3) THENCE WITH A REVERSE CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 73.69', WITH A RADIUS OF 165.00', WITH A CHORD BEARING OF N 12°47'47" E, WITH A CHORD LENGTH OF 73.08', WITH A DELTA ANGLE OF 25°35'23"; (4) THENCE N 00°00'06" E A DISTANCE OF 37.51'; (5) THENCE WITH A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 37.89', WITH A RADIUS OF 165.00', WITH A CHORD BEARING OF N 06°34'40" W, WITH A CHORD LENGTH OF 37.81', WITH A DELTA ANGLE OF 13°09'32"; (6) THENCE N 13°06'26" W A DISTANCE OF 71.90' TO THE SOUTHERLY PLATTED RIGHT OF WAY LINE OF PLANTATION BOULEVARD; THENCE ALONG THE SOUTHERLY PLATTED RIGHT OF WAY LINE OF PLANTATION BOULEVARD WITH A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 60.01', WITH A RADIUS OF 891.25', WITH A CHORD BEARING OF N 76°31'52" E, WITH A CHORD LENGTH OF 60.00', WITH A DELTA ANGLE OF 03°51'29", TO THE NORTHEAST CORNER OF TRACT H; THENCE ALONG THE EASTERLY LINE OF TRACT H THE FOLLOWING (6) COURSES (1) S 13°06'26" E A DISTANCE OF 72.23'; (2) THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 51.67', WITH A RADIUS OF 225.00', WITH A CHORD BEARING OF S 06°34'40" E, WITH A CHORD LENGTH OF 51.56', WITH A DELTA ANGLE OF 13°09'32"; (3) THENCE S 00°00'06" W A DISTANCE OF 37.51'; (4) THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 100.49', WITH A RADIUS OF 225.00', WITH A CHORD BEARING OF S 12°47'47" W, WITH A CHORD LENGTH OF 99.66', WITH A DELTA ANGLE OF 25°35'23"; (5) THENCE WITH A REVERSE CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 78.16', WITH A RADIUS OF 175.00', WITH A CHORD BEARING OF S 12°47'47" W, WITH A CHORD LENGTH OF 77.51', WITH A DELTA ANGLE OF 25°35'23"; (6) THENCE S 00°00'06" W A DISTANCE OF 34.63' TO THE SOUTHEAST CORNER OF TRACT H; THENCE S 18°44'31" E A DISTANCE OF 95.23'; THENCE S 45°15'24" E A DISTANCE OF 283.42'; THENCE S 07°32'35" W A DISTANCE OF 208.12'; THENCE S 22°15'58" E A DISTANCE OF 237.48'; THENCE S 02°39'36" W A DISTANCE OF 349.78'; THENCE S 23°00'34" W A DISTANCE OF 80.46'; THENCE S 10°00'13" E A DISTANCE OF 225.23'; THENCE S 55°26'32" E A DISTANCE OF 282.76' TO THE NORTHERLY RIGHT OF WAY LINE OF PANACEA BOULEVARD AS RECORDED IN THE OFFICIAL RECORDS OF SARASOTA COUNTY, FLORIDA. INSTRUMENT # 2005275738; THENCE ALONG SAID NORTHERLY RIGHT OF WAY LINE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 477.60', WITH A RADIUS OF 4305.80', WITH A CHORD BEARING OF S 37°44'43" W, WITH A CHORD LENGTH OF 477.35', WITH A DELTA ANGLE OF 06°21'19"; THENCE S 40°55'22" W A DISTANCE OF 258.23'; THENCE S 49°04'38" E A DISTANCE OF 10.00'; THENCE S 40°55'22" W A DISTANCE OF 124.19'; THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 389.61', WITH A RADIUS OF 450.00', WITH A CHORD BEARING OF S 65°43'34" W, WITH A CHORD LENGTH OF 377.56', WITH A DELTA ANGLE OF 49°36'26"; THENCE N 89°28'13" W A DISTANCE OF 268.88'; THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 39.26', WITH A RADIUS OF 25.00', WITH A CHORD BEARING OF N 44°27'47" W, WITH A CHORD LENGTH OF 35.35', WITH A DELTA ANGLE OF 89°59'11", TO THE POINT OF BEGINNING, HAVING AN AREA OF 2078405.37 SQUARE FEET, 47.714 ACRES

NO.	DATE	DESCRIPTION
6		
5		
4	11-20-19	ADDED ENGINEERING INTENT PLAN SHEETS
3	10-10-19	MODIFICATIONS PER CITY COMMENTS
2	11-18-19	MODIFICATIONS PER CITY COMMENTS
1		

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COVER SHEET

THE WOODLANDS

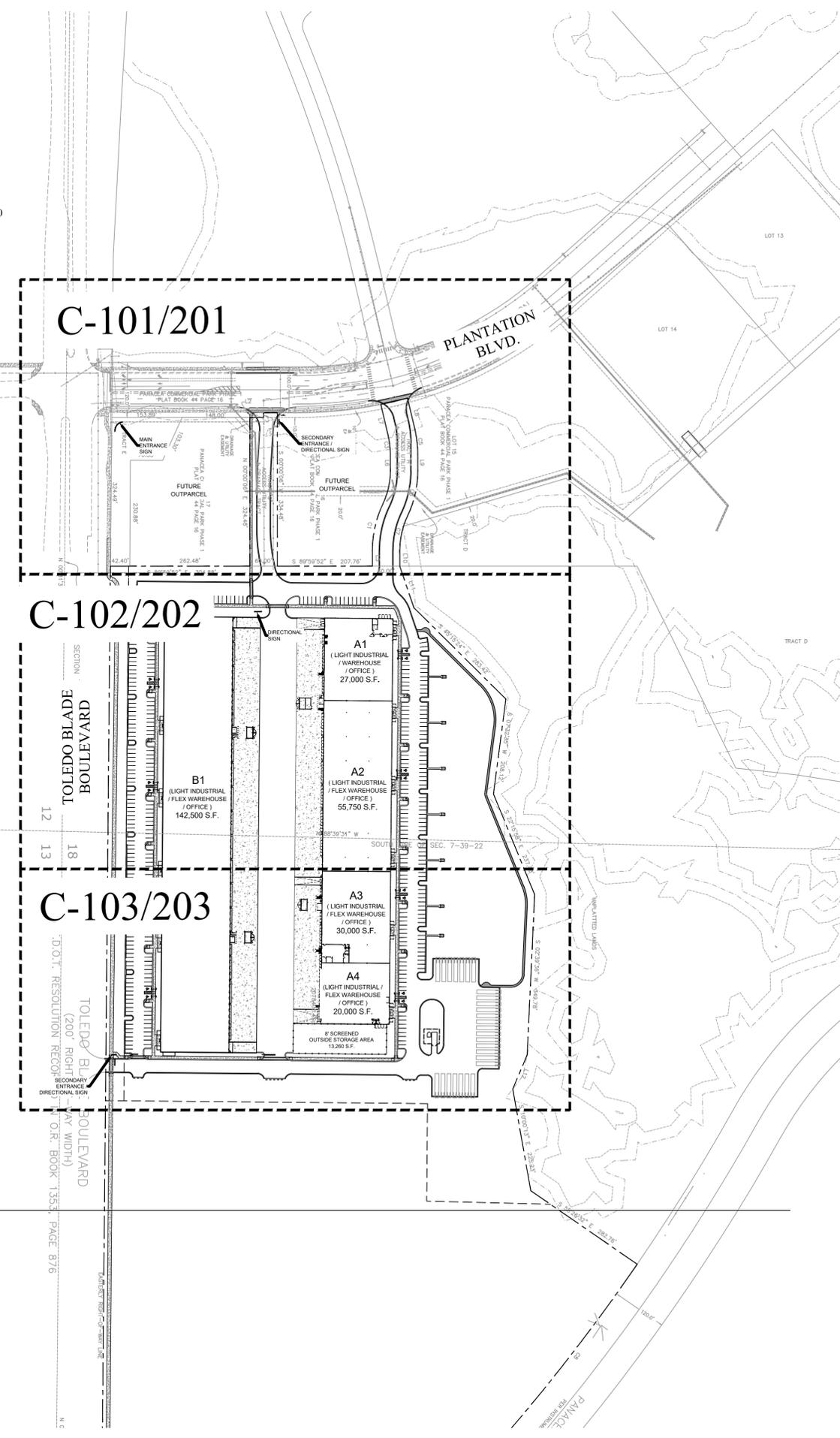
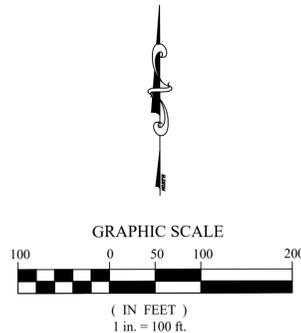
ISSUED FOR: PERMITTING  
JOB #: 1703 SEC. 7  
TWN: 39S  
RNG: 22E  
DRAWN: ELK  
APPROVED: CRC



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**SITE DATA - POST CONSTRUCTION**

LAND USE	ACRES	SF	%
TOTAL SITE AREA	= 47.71	2,078,405	100.0%
IMPERVIOUS	= 23.33	1,016,145	48.9%
BUILDING(S)	= 6.32	275,250	13.2%
PAVEMENT (W/CURB)	= 16.55	720,880	34.7%
CONCRETE (SIDEWALK/DUMPSTER/OTHER)	= 0.46	20,015	1.0%
PONDS	= 2.07	90,169	4.3%
PERVIOUS	= 22.32	972,091	46.80%

**BUILDING SUMMARY AND PARKING CALCULATIONS**

USE	BUILDING NUMBER	SF	REQUIRED PARKING RATIO PER WAIVERS (SF)	REQUIRED SPACES
LIGHT INDUSTRIAL / FLEX WAREHOUSE / OFFICE	A1	142,500	1 SPACE/ 1,000	143
LIGHT INDUSTRIAL / FLEX WAREHOUSE / OFFICE	B1	27,000	1 SPACE/ 1,000	27
LIGHT INDUSTRIAL / FLEX WAREHOUSE / OFFICE	B2	55,750	1 SPACE/ 1,000	56
LIGHT INDUSTRIAL / FLEX WAREHOUSE / OFFICE	B3	30,000	1 SPACE/ 1,000	30
LIGHT INDUSTRIAL / FLEX WAREHOUSE / OFFICE	B4	20,000	1 SPACE/ 1,000	20
SCREENED OUTSIDE STORAGE AREA	B4	13,260	1 SPACE/ 1,000	13
<b>TOTAL SF</b>		<b>288,510</b>		
<b>TOTAL REQUIRED</b>				<b>289</b>
<b>TOTAL PROVIDED</b>				<b>365</b>
<b>REQUIRED HANDICAP</b>				<b>14</b>
<b>PROVIDED HANDICAP</b>				<b>18</b>

**PERIMETER LANDSCAPE BUFFERING**

LOCATION	EXISTING ZONING / USE	BUFFER (TYPE)
NORTH	PCD / ROW	N/A
EAST	PCD / VACANT	N/A
WEST	PCD / ROW	40'
SOUTH	PCD / ROW	N/A

**PROPERTY DEVELOPMENT REGULATIONS**

EXIST. ZONING DESIGNATION: PCD  
 EXISTING LAND USE: ACTIVITY CENTER 4, PANACEA  
 PROPOSED LAND USE: ACTIVITY CENTER USES

ADDRESS: PLANTATION BLVD, NORTH PORT, FL. 34289

	REQUIRED (FT)	PROVIDED (FT)
MAXIMUM BUILDING HEIGHT	50	50
		13.2%
MAXIMUM LOT COVERAGE	35%	BUILDING AREA/LOT AREA 275,250 / 2,078,405
<b>MINIMUM BUILDING SETBACKS</b>		
FRONT YARD (WEST)	25	40
SIDE YARD (SOUTH)	15	50
REAR YARD (EAST)	10	50
SIDE YARD (NORTH)	15	20

**DMP WAIVERS**

- A WAIVER IS REQUESTED FROM SECTION 25-17 MINIMUM OFF-STREET PARKING REQUIREMENTS, IN WHICH OFFICE IS TO BE PARKED AT 1 SPACE PER 250 SF, LIGHT INDUSTRIAL / FLEX WAREHOUSE IS TO BE PARKED AT 1 SPACE PER 1,500 SF:  
 A WAIVER IS REQUESTED FROM THE ABOVE REQUIREMENT TO ALLOW PARKING RATIO AS A BLEND BETWEEN THE TWO USES FOR A TOTAL REQUIRED PARKING AMOUNT OF 1 SPACE PER 1,000 SF OF BUILDING AREA.
- A WAIVER IS REQUESTED FROM ULDC SECTION 55-8, PARKING REQUIREMENTS AND URBAN DESIGN STANDARDS PATTERN BOOK PG 10, IN WHICH NO MORE THAN ONE ROW OF PARKING CAN BE PLACED ALONG THE MAJOR ROADWAY AND IN THIS CASE, IT IS TOLEDO BLVD:  
 A WAIVER IS REQUESTED FROM THE ABOVE REQUIREMENT TO ALLOW TWO ROWS OF PARKING BEFORE THE BUILDING. THE PARKING IS BUFFERED BY 40' FROM THE ROW TO ALLOW FOR ADEQUATE SEPARATION FOR THE PARKING AREA.

**GENERAL NOTES**

- TRUNCATED DUMES SHALL BE INSTALLED AT ALL PEDESTRIAN CROSSINGS AND HANDICAP PARKING.
- THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE X AND AE PER F.I.R.M. PANEL #12115C0384F. (EFF DATE 11/04/2015)
- PROPOSED AND EXISTING ELEVATIONS ARE BASED ON NGVD OF 1929.
- THIS SITE IS NOT LOCATED IN A FLOODWAY OR COASTAL ZONE.
- THIS SITE DOES NOT EXHIBIT FRESHWATER OR SALTWATER INUNDATION.
- THIS PROJECT WILL NOT CAUSE ADVERSE IMPACTS TO GROUND AND/OR SURFACE WATERS.
- THIS SITE CAN BE USED SAFELY FOR BUILDING PURPOSES WITHOUT UNDUE DANGER FROM FLOOD OR ADVERSE SOIL OR FOUNDATION CONDITIONS CONTINGENT UPON SOIL BORINGS AND DESIGN FOR EACH STRUCTURE BY THE BUILDING ARCHITECT TO ACCOMMODATE SUBSOIL CONDITIONS. THIS STATEMENT DOES NOT INCLUDE SINKHOLES.
- IRRIGATION SOURCE WILL BE BY SURFACE WATER POND AND WELL.
- FIRE STRIPING SHALL CONFORM TO CONDITION 14 UNDER THE FIRE & RESCUE COMMENTS OF THE APPROVED DO.
- FREESTANDING AND MONUMENT SIGNS SHALL BE SETBACK A MINIMUM OF 10 FT FROM THE ROW LINE.
- STAND ALONE BUILDING PERMITS ARE REQUIRED ON THE PRIMARY STRUCTURE, SIGNS, WALLS, FENCES, DUMPSTER CORRALS, STREET LIGHTING, IRRIGATION SYSTEMS, LIFT STATIONS AND ANY OTHER ACCESSORY STRUCTURES.
- GROUND LEVEL EXTERIOR MECHANICAL UNITS SHALL ENCLOSED WITHIN A MASONRY WALL WITH LANDSCAPING OR ELSE MOVED TO THE ROOF OF THE BUILDINGS.
- THE ENTIRE REAR OF THE BUILDINGS WILL BE DESIGNATED AS LOADING ZONES WITH FULL 4' HIGH DOCK HIGH LOADING DOCKS.
- IF REQUIRED, BENCH, TRASH CAN AND BIKE RACK LOCATIONS TO BE COORDINATED WITH CITY STAFF DURING APPROVAL OF INDIVIDUAL BUILDING PERMITS. SEE TYPICAL EXAMPLES THIS SHEET.
- IMPACT FEES ARE BASED ON LAND USE TYPE. THEY ARE CALCULATED BASED ON THE CITY IMPACT FEE ORDINANCE IN EFFECT WHEN THE BUILDING APPLICATION IS SUBMITTED TO THE BUILDING DEPARTMENT. THEY ARE DUE PRIOR TO THE ISSUANCE OF THE TEMPORARY CERTIFICATE OF OCCUPANCY, THE CERTIFICATE OF COMPLETION FOR A SHELL BUILDING, OR THE PERMANENT CERTIFICATE OF OCCUPANCY.
- STORMWATER ANALYSIS WILL BE SUBMITTED DURING THE MAS PERSUANT TO ULDC SEC. 53-70(15)
- THERE IS CURRENTLY 871,200 SF OF LIGHT INDUSTRIAL USE AVAILABLE WITHIN THE ACTIVITY CENTER #4 OF THE PANACEA DRI. THIS PROJECT PROPOSES TO USE 228,510 SF OF THE ALLOWABLE LIGHT INDUSTRIAL SQUARE FOOTAGE SO THE REMAINING SQUARE FOOTAGE WOULD BE 642,690 SF.

**FDC FIRE LANE NOTES**

- PLACEMENT OF FIRE DEPARTMENT CONNECTIONS (FDC'S) AND FDC FIRE LANES SHALL BE DETERMINED ON SITE WITH THE FIRE MARSHAL PRIOR TO INSTALLATION. THERE SHALL BE NO FDC'S PLACED NEXT TO BUILDINGS - MINIMUM DISTANCE IS 40 FEET AWAY FROM BUILDINGS.
- FDC FIRE LANES ARE REQUIRED AROUND ALL FDC'S.
- FDC FIRE LANES SHALL HAVE A MINIMUM WIDTH OF 15 FEET (7 1/2 FEET ON EACH SIDE OF THE FDC), AND SHALL BE COMPLETELY OULINED WITH YELLOW TRAFFIC PAINT, BY A STRIPE OF EIGHT (8") INCHES MINIMUM WIDTH, ALSO DIAGONAL STRIPING A MINIMUM OF FOUR (4") INCHES WIDE, AT LEAST FOUR FEET (4') ON CENTER, TO THE CURB LINE.
- AT FDC FIRE LANES THE CURB, OR THE LINE OF THE CURB, SHALL BE PAINTED YELLOW FOR THE ENTIRE LENGTH OF THE FDC FIRE LANE. WITHIN THE STRIPES SHALL BE THE WORDS 'FDC - NO PARKING' IN BLOCK LETTERS OF NO LESS THAN TWELVE INCHES IN HEIGHT WITH A MINIMUM THREE INCH STROKE.
- AT FDC FIRE LANES ALL PAVEMENT LETTERING SHALL BE 90 MIL THERMOPLASTIC.
- ALL FDC'S SHALL HAVE A SIGN POSTED 18 TO 24 INCHES ABOVE THE APPLIANCE AND UP TO FOUR (4) FEET DIRECTLY BEHIND THE FDC WITH THE LETTERS 'FDC IN SIX (6") INCH RED LETTERS ON A WHITE BACKGROUND. IN COMPLEXES WITH MORE THAN ONE FDC, THE ADDRESS OF THE BUILDING THAT THE FDC SERVICES SHALL BE INCLUDED ON THE SIGN.

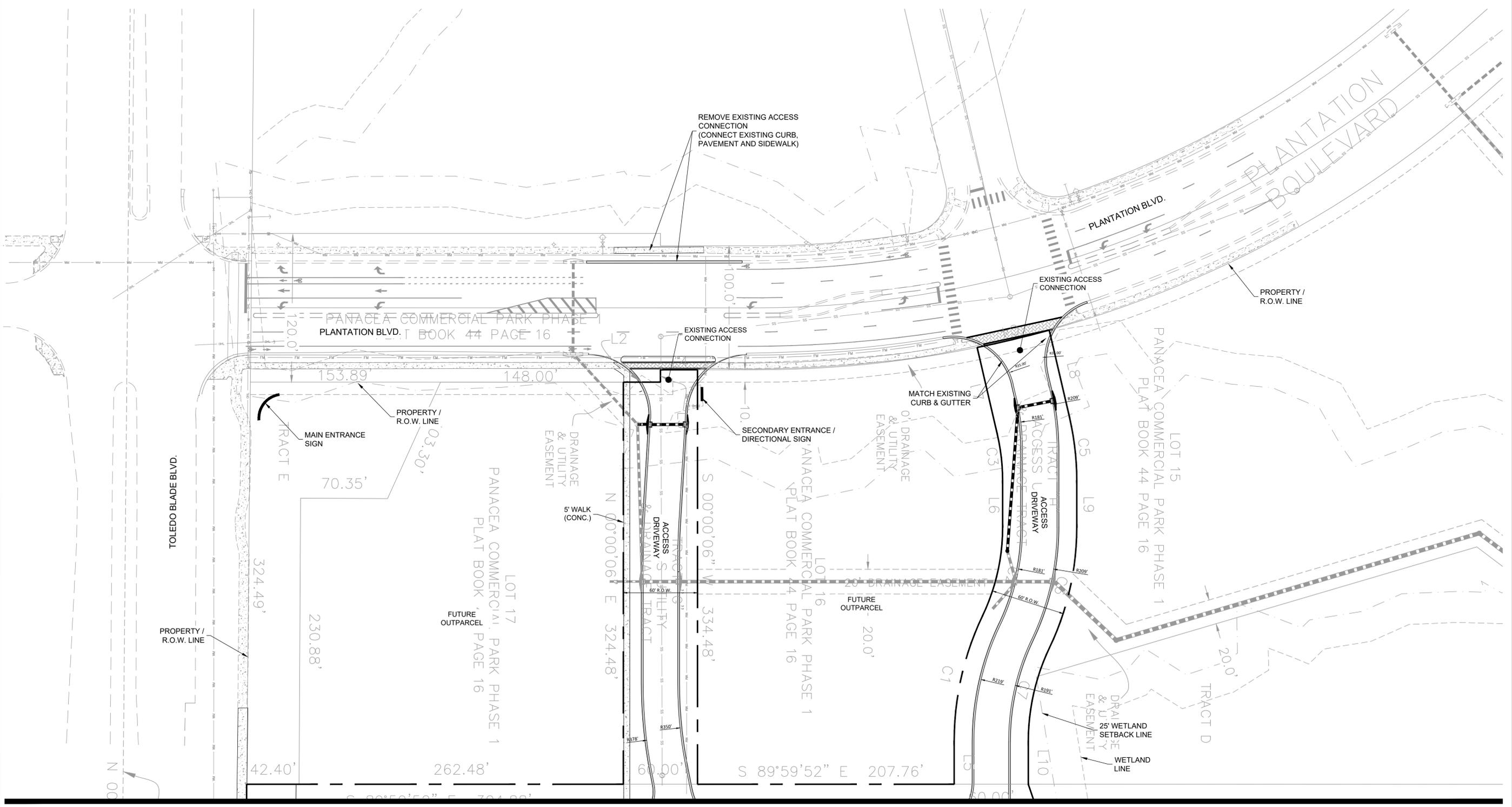
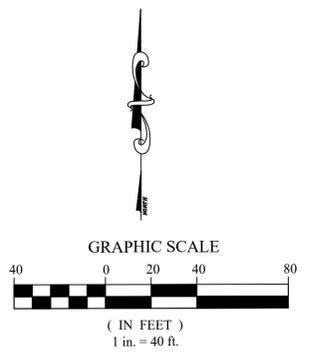


REVISIONS 6 5 4 3 2 1	NO. DATE DESCRIPTION 1 11-20-19 MODIFICATIONS PER CITY'S MAS COMMENTS 2 3 4 5 6
Engineering ~ Environmental Water Resource ~ Survey WRA 4266 W. Litchfield Ave. Tampa, Florida 33624 www.wraengineering.com CA 00007652 LB 8274 Phone: 813.265.3130 941.275.9721	OVERALL PRELIMINARY DEVELOPMENT PLAN
THE WOODLANDS	ISSUED FOR: PERMITTING JOB # 1703 - SEC. 7 TWN. 39S RANG. 22E DESIGNED: ELR DRAWN: ELR APPROVED: ERC
CLIVE RYAN CUFFLE LICENSE NO. 69139 STATE OF FLORIDA PROFESSIONAL ENGINEER	Datum: NAVD 88 C-100

2019 WRA  
 Print Date: 11/20/2019 11:44:44 AM  
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**PROJECT SPECIFIC SITE NOTES:**

1. PER FLORIDA STATE STATUTE 316.0745, ALL TRAFFIC CONTROL SIGNING AND MARKINGS ON PRIVATE PROPERTY OPENED TO THE GENERAL PUBLIC SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITION SECTION 711, PAGES 1-13. ALL PAVEMENT MARKINGS AND DIMENSIONS INCLUDING STOP BARS, DIRECTIONAL ARROWS, CROSSWALK LINES AND HANDICAP STRIPING SHALL BE SLIP RESISTANT THERMOPLASTIC PAINT.
2. PARKING STALL STRIPING MAY BE REGULAR PAINT IN COMPLIANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITION SECTION 710.
3. ALL CROSSWALKS SHOWN ON SITE TO BE CONSTRUCTED PER 2019 FDOT INDEX #711-001 DIMENSIONS. CONTRACTOR TO COORDINATE WITH OWNER / DEVELOPER ANY SPECIALIZED CROSSWALK STYLES FOR THE SITE INCLUDING DECORATIVE PAVERS OR STAMPED CONCRETE AND MUST MEET COUNTY SPECIFICATIONS AND APPROVAL.
4. ALL CURB CUTS AND CURB RAMPS (CR) PER FDOT INDEX #522-002. RAMPS WITHIN PAVEMENT WALKWAYS INCLUDING STOREFRONT, TO HAVE CONCRETE (EXPOSED AGGREGATE) TRUNCATED DOMES FOR ADA DETECTABLE WARNING SURFACE. RAMPS WITHIN PARKING LOT AND STANDARD CONCRETE WALKWAYS MAY USE AN ADA APPROVED DETECTABLE WARNING SURFACE MAT.
5. PAVEMENT SECTIONS, SPECIFICATIONS AND ROADWAY DETAILS TO BE PROVIDED WITH CONSTRUCTION PLANS.



MATCHLINE - SEE SHEET C-101

REVISIONS	
NO.	DATE
6	
5	
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3	
2	
1	

**Engineering ~ Environmental**  
**Water Resource ~ Survey**  
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**SITE DEVELOPMENT PLAN**

**THE WOODLANDS**

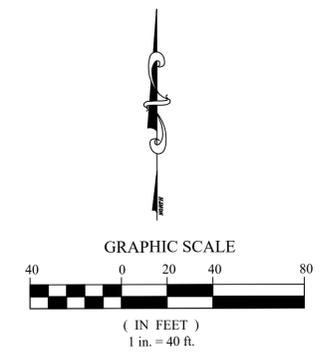


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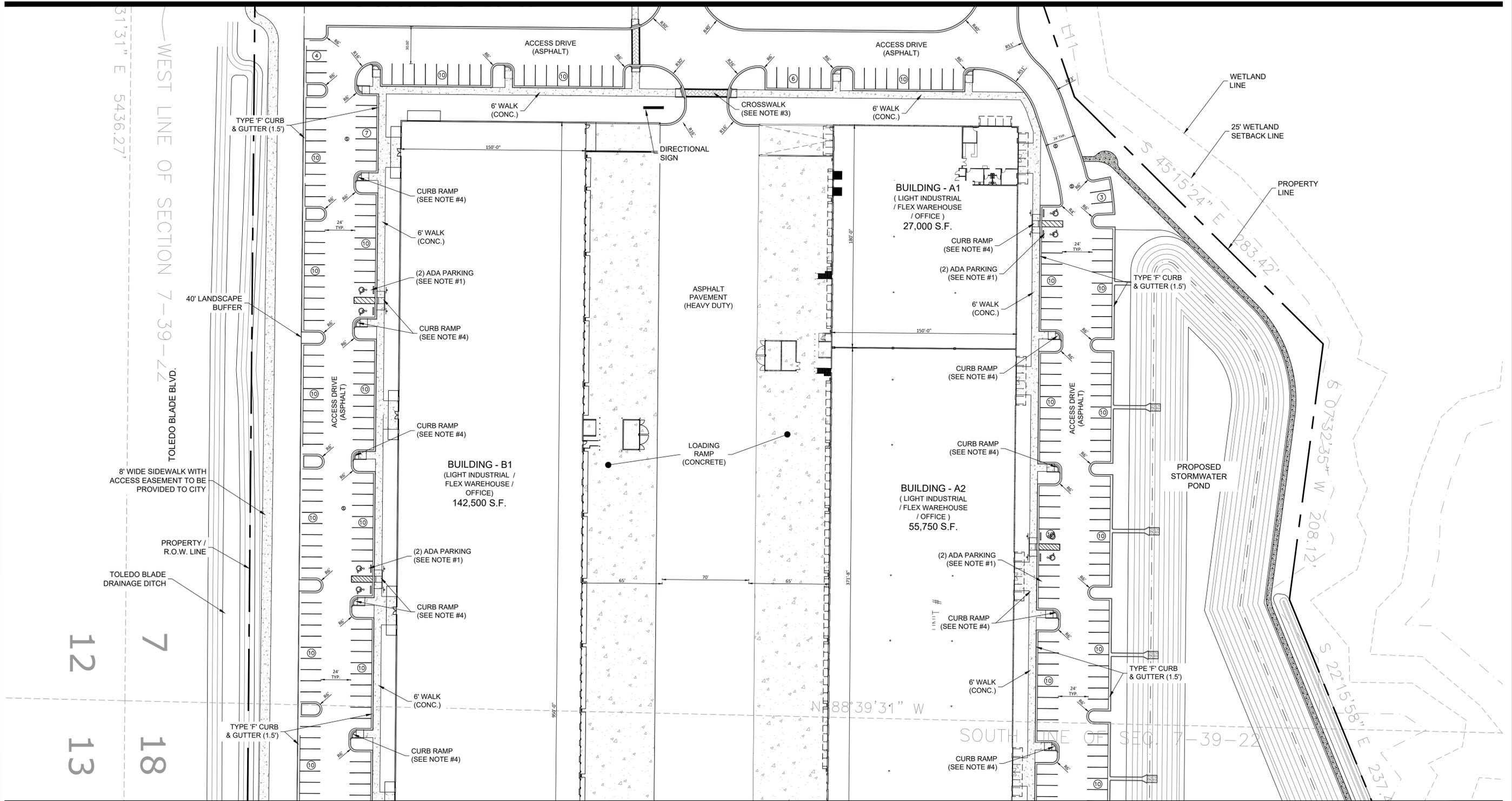
C-101

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MATCHLINE - SEE SHEET C-101



MATCHLINE - SEE SHEET C-103

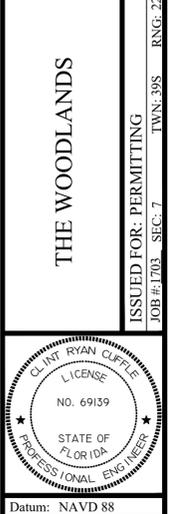
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NO.	DATE	DESCRIPTION
1	11-18-19	MODIFICATIONS PER CITY COMMENTS
2	10-10-19	MODIFICATIONS PER CITY COMMENTS
3	11-20-19	ADDED ENGINEERING INTENT PLAN SHEETS
4		
5		
6		

**Engineering ~ Environmental**  
**Water Resource ~ Survey**  
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 Phone: 813.265.3130 941.275.9721



THE WOODLANDS  
 SITE DEVELOPMENT PLAN  
 ISSUED FOR: PERMITTING  
 JOB # 1703 - SEC. 7  
 TOWN: 39S  
 RANG: 22E  
 DESIGNED: ELR  
 DRAWN: ELR  
 APPROVED: ERC

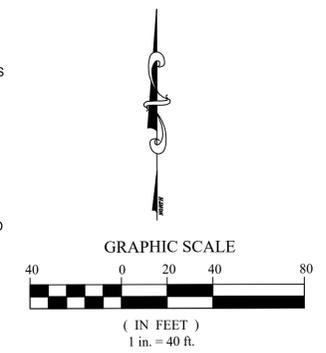


Datum: NAVD 88  
 C-102

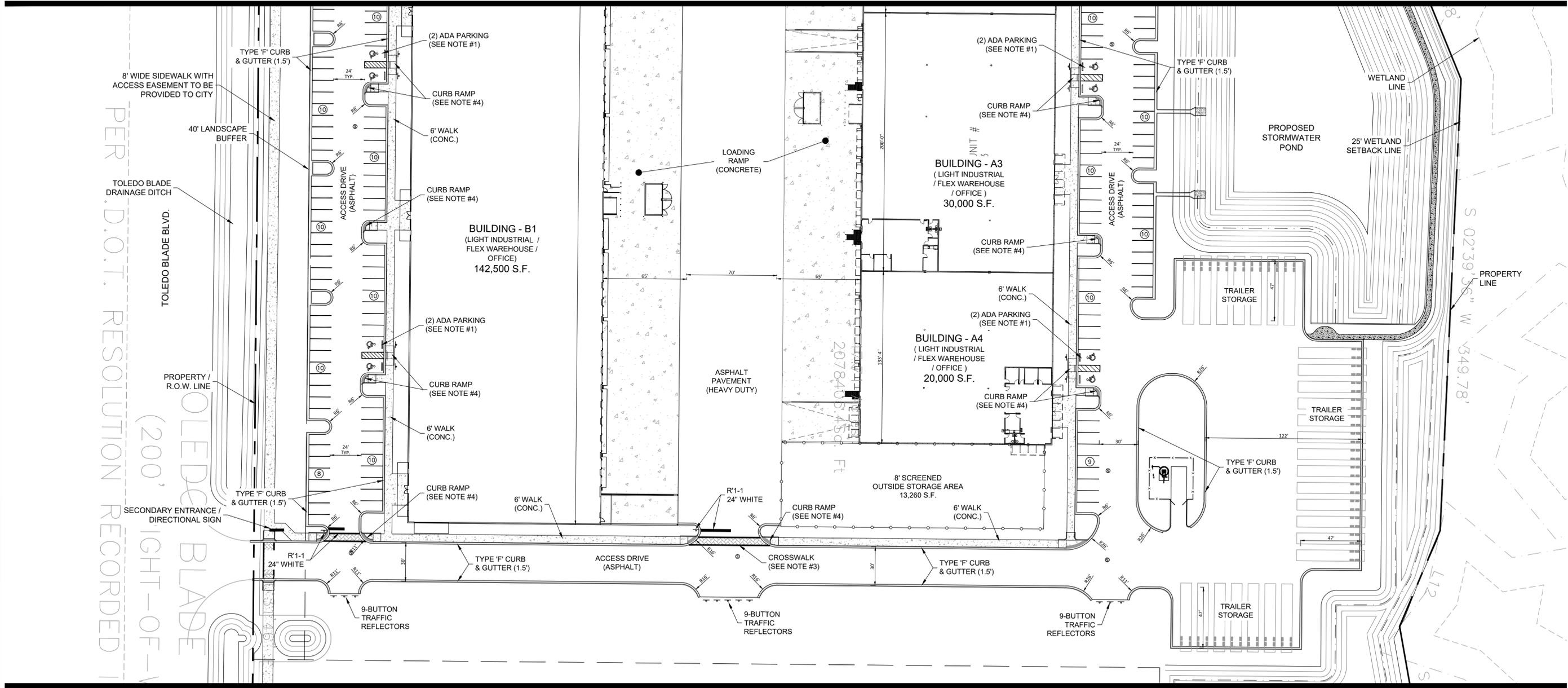
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**PROJECT SPECIFIC SITE NOTES:**

- PER FLORIDA STATE STATUTE 316.0745, ALL TRAFFIC CONTROL SIGNING AND MARKINGS ON PRIVATE PROPERTY OPENED TO THE GENERAL PUBLIC SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITION SECTION 711, PAGES 1-13. ALL PAVEMENT MARKINGS AND DIMENSIONS INCLUDING STOP BARS, DIRECTIONAL ARROWS, CROSSWALK LINES AND HANDICAP STRIPING SHALL BE SLIP RESISTANT THERMOPLASTIC PAINT.
- PARKING STALL STRIPING MAY BE REGULAR PAINT IN COMPLIANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITION SECTION 710.
- ALL CROSSWALKS SHOWN ON SITE TO BE CONSTRUCTED PER 2019 FDOT INDEX #711-001 DIMENSIONS. CONTRACTOR TO COORDINATE WITH OWNER / DEVELOPER ANY SPECIALIZED CROSSWALK STYLES FOR THE SITE INCLUDING DECORATIVE PAVERS OR STAMPED CONCRETE AND MUST MEET COUNTY SPECIFICATIONS AND APPROVAL.
- ALL CURB CUTS AND CURB RAMPS (CR) PER FDOT INDEX #522-002. RAMPS WITHIN PAVEMENT WALKWAYS INCLUDING STOREFRONT, TO HAVE CONCRETE (EXPOSED AGGREGATE) TRUNCATED DOMES FOR ADA DETECTABLE WARNING SURFACE. RAMPS WITHIN PARKING LOT AND STANDARD CONCRETE WALKWAYS MAY USE AN ADA APPROVED DETECTABLE WARNING SURFACE MAT.
- PAVEMENT SECTIONS, SPECIFICATIONS AND ROADWAY DETAILS TO BE PROVIDED WITH CONSTRUCTION PLANS.



MATCHLINE - SEE SHEET C-102



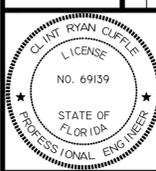
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5		
4		
3	11-20-19	ADDED ENGINEERING INTENT PLAN SHEETS
2	10-10-19	MODIFICATIONS PER CITY COMMENTS
1	11-18-19	MODIFICATIONS PER CITY COMMENTS

**Engineering ~ Environmental**  
**Water Resource ~ Survey**  
 WRA  
 4266 W. Lichfield Ave.  
 Tampa, Florida 33624  
 www.wraengineering.com  
 CA 00007652 LB 8274  
 Phone: 813.265.3130 941.275.9721



**SITE DEVELOPMENT PLAN**

**THE WOODLANDS**

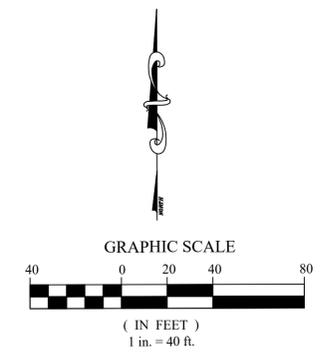


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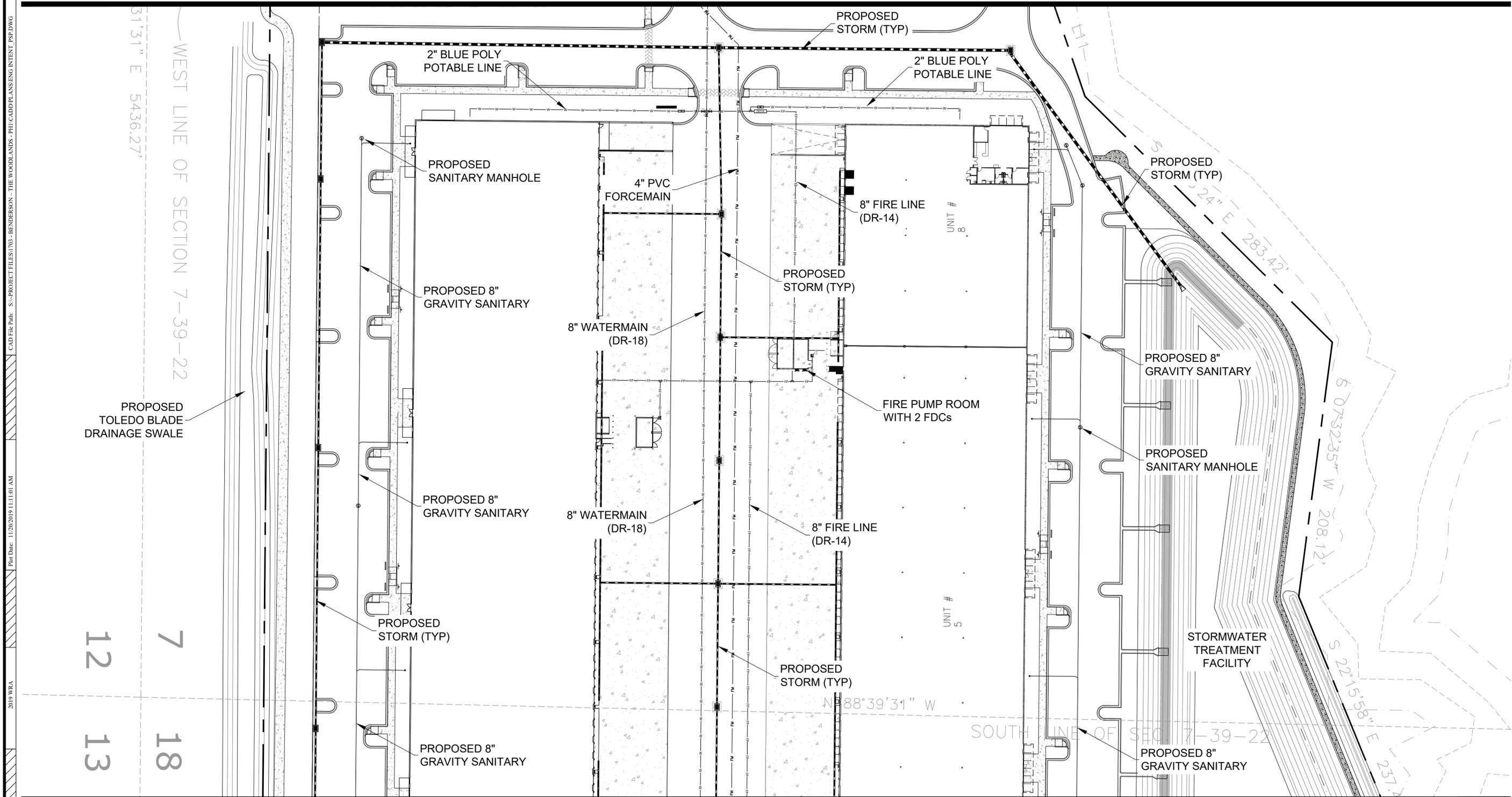


PROJECT SPECIFIC SITE NOTES:

1. PER FLORIDA STATE STATUTE 316.0745, ALL TRAFFIC CONTROL SIGNING AND MARKINGS ON PRIVATE PROPERTY OPENED TO THE GENERAL PUBLIC SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITION SECTION 711, PAGES 1-13. ALL PAVEMENT MARKINGS AND DIMENSIONS INCLUDING STOP BARS, DIRECTIONAL ARROWS, CROSSWALK LINES AND HANDICAP STRIPING SHALL BE SLIP RESISTANT THERMOPLASTIC PAINT.
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3. ALL CROSSWALKS SHOWN ON SITE TO BE CONSTRUCTED PER 2019 FDOT INDEX #711-001 DIMENSIONS. CONTRACTOR TO COORDINATE WITH OWNER / DEVELOPER ANY SPECIALIZED CROSSWALK STYLES FOR THE SITE INCLUDING DECORATIVE PAVERS OR STAMPED CONCRETE AND MUST MEET COUNTY SPECIFICATIONS AND APPROVAL.
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5. PAVEMENT SECTIONS, SPECIFICATIONS AND ROADWAY DETAILS TO BE PROVIDED WITH CONSTRUCTION PLANS.



MATCHLINE - SEE SHEET C-201



MATCHLINE - SEE SHEET C-203

2019 WRA  
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 CAD File Path: S:\PROJECT FILES\703 - BENDERSON - THE WOODLANDS - PRELIMINARY ENGINEERING INTENT.rvt

31'31" E 5436.27'  
 WEST LINE OF SECTION 7-39-22  
 12  
 7  
 13  
 18

NO.	DATE	DESCRIPTION
6		
5		
4		
3	11-20-19	ADDED ENGINEERING INTENT PLAN SHEETS
2	10-10-19	MODIFICATIONS PER CITY COMMENTS
1	11-18-19	MODIFICATIONS PER CITY COMMENTS

Engineering ~ Environmental  
 Water Resource ~ Survey  
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 Tampa, Florida 33624  
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 CA 00007652 LB 8274  
 Phone: 813.265.3130 941.275.9721



PRELIMINARY  
 ENGINEERING INTENT  
 THE WOODLANDS  
 ISSUED FOR: PERMITTING  
 JOB #: 703 - SEC. 7  
 TWN. 39S  
 RANG. 22E  
 DESIGNED: ELR  
 DRAWN: ELR  
 APPROVED: ERC

THE WOODLANDS  
 ISSUED FOR: PERMITTING  
 JOB #: 703 - SEC. 7  
 TWN. 39S  
 RANG. 22E  
 DESIGNED: ELR  
 DRAWN: ELR  
 APPROVED: ERC

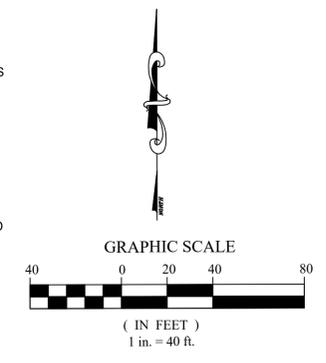


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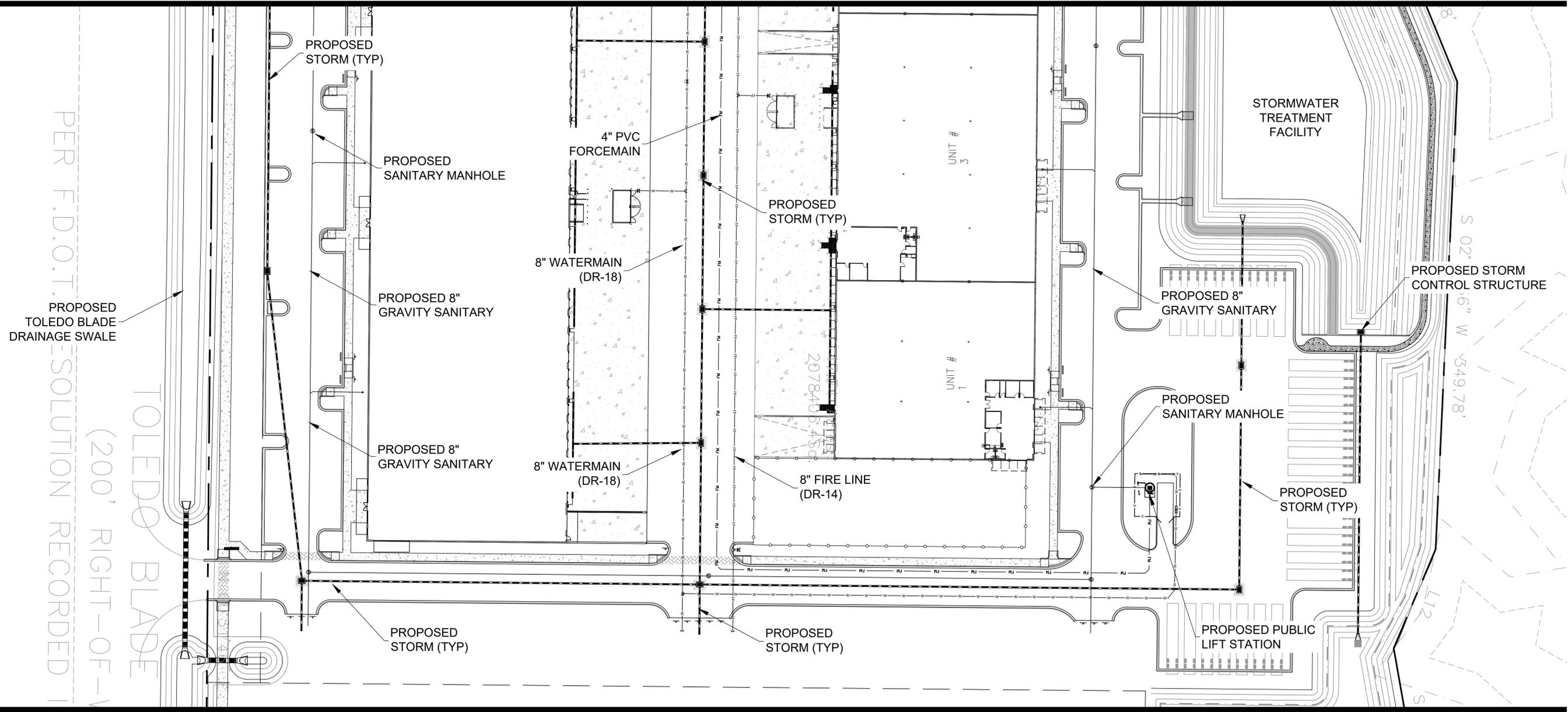
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 Plot Date: 1/20/2019 11:17:17 AM  
 CAD File Path: S:\PROJECT FILES\703 - BENDERSON - THE WOODLANDS - PHU CAD\PLANS\ENG INTENT\_PSD.DWG

**PROJECT SPECIFIC SITE NOTES:**

1. PER FLORIDA STATE STATUTE 316.0745, ALL TRAFFIC CONTROL SIGNING AND MARKINGS ON PRIVATE PROPERTY OPENED TO THE GENERAL PUBLIC SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITION SECTION 711, PAGES 1-13. ALL PAVEMENT MARKINGS AND DIMENSIONS INCLUDING STOP BARS, DIRECTIONAL ARROWS, CROSSWALK LINES AND HANDICAP STRIPING SHALL BE SLIP RESISTANT THERMOPLASTIC PAINT.
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MATCHLINE - SEE SHEET C-202

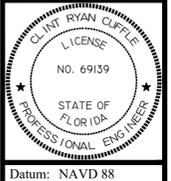


NO.	DATE	DESCRIPTION
1	11-18-19	MODIFICATIONS PER CITY COMMENTS
2	10-10-19	MODIFICATIONS PER CITY COMMENTS
3	11-20-19	ADDED ENGINEERING INTENT PLAN SHEETS
4		
5		
6		

**Engineering ~ Environmental**  
**Water Resource ~ Survey**  
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 Tampa, Florida 33624  
 www.wraengineering.com  
 CA 00007652 LB 8274  
 Phone: 813.265.3130 941.275.9721

**PRELIMINARY**  
**ENGINEERING INTENT**

**THE WOODLANDS**  
 ISSUED FOR: PERMITTING  
 JOB # 1703 SEC. 7  
 TWN. 39S  
 RANG. 22E  
 DESIGNED: ELR  
 DRAWN: ELR  
 APPROVED: ERC



Datum: NAVD 88

C-203