

I. BACKGROUND

Joseph Holt, on behalf of the property owner Zia Butt, has formally submitted to the City of North Port a written petition request for a special exception to allow for a multi-family residential use development with a maximum of 175 dwelling units, leasing office, fitness center/office, pool, and a 2-story office building comprising 10,000 square feet. The property is zoned Office, Professional, Institutional (OPI) with a Future Land Use designation of Professional Office. The application was deemed sufficient on July 6, 2023 (**Exhibit C- Application**).

The subject property is currently vacant and located at the southeast corner of South Sumter Boulevard and Pocatella Avenue and encompasses approximately 11.71 acres.

The proposed multi-family residential use is neither a specifically permitted nor prohibited use in the Office, Professional, Institutional (OPI) zoning district. ULDC Section 53-92 provides that any use not explicitly permitted and not expressly prohibited in the OPI zoning district may file for a special exception in accordance with Article XXII of Chapter 53, provided that the use applied for contributes to the intent of the zoning district as stated in the City's Comprehensive Plan and the Unified Land Development Code. The planned 10,000-square-foot office building is designated for office, professional, or institutional use, is permitted under the OPI zoning district, and is not part of the special exception request.

II. WRITTEN PETITION

Section 53-255 of the ULDC establishes the written process and the materials required to accompany the petition for a special exception. These items include the section of the zoning regulations under which the special exception is being sought, the grounds on which it is requested, and information demonstrating that the grant of special exception will be in harmony with the general intent and purpose of the zoning regulations, and not injurious to the adjacent properties or otherwise detrimental to the public welfare. The applicant's narrative attached as (**Exhibit D - Narrative**) states the special exception is being requested under Sec. 53-92 of the ULDC as required by ULDC Sections 53-255. A. (1). The narrative also contains the applicant's responses to each of the findings for a special exception as per ULDC 53-259A.

In addition, to the above requirements, the petition shall also include a development master plan showing the placement, square footage, and height of the proposed structures on the property; provisions for ingress and egress, off-street parking, and off-street loading areas, locations of refuse and service areas, and required yards and other open spaces (**Exhibit E – Development Master Plan**).

III. STAFF REVIEW

The following staff reviews were completed before hearings held by the Planning and Zoning Advisory Board and the City Commission:

1. Pre-Application Meeting with the Staff Development Review (SDR) team (held on April 12, 2023) to discuss the Pocatella Avenue Mixed-Use Development Project.
2. Formal Submittal/Resubmittal to be reviewed and approved by SDR.
3. Review for consistency with the City's Comprehensive Plan (Comp Plan). See Section IV.
4. Compliance with the City's Unified Land Development Code (ULDC). See Section V (Special Exception Findings).



Staff Development Review Summary	
DS- Building Arborist	No Objection ¹
DS-Building Structural	No Objection
Finance	No Objection
Fire/Rescue	Meets Requirements with Conditions ²
DS-Planning and Zoning	No Objection
Parks and Recreation	No Objection
Public Works/P&Z Environmental	Meets Requirements with Conditions ³
Public Works Engineering	No Objection
Public Works Stormwater	No Objection
Public Works Solid Waste	No Objection ⁴
Utilities	No Objection

¹ The City Arborist had no objection. However, standard conditions concerning the placement of all trees and landscaping requirements will apply during the development master plan and site development.

² Fire conditions apply at the development master plan and site development stage concerning compliance with § 60-12 (E) (1) of the City of North Port’s Unified Land Development Code (ULDC), in buildings two stories to four stories, up to a maximum height of fifty feet (50’), with fire sprinklers and alarms installed, at least two elevations (sides) of each building shall be accessible to the fire department. The 3-story apartment building closest to the retention pond may need a dedicated fire lane or greater access from the drive aisle side. The distance, including parked automobiles, appears to be greater than our equipment can reach.

³ Environmental conditions apply at the site development stage concerning gopher tortoise removal, land clearing, and site assessment activities. These will be addressed at the major site and development stage. Development cannot occur until a development order is issued. An updated environmental survey will be required with the formal site development applications.

⁴ Public Works Solid Waste had no objection to the special exception request. However, comments were provided regarding dumpster design and requirements. These will be addressed in greater detail at the time of site development.

IV. DATA & ANALYSIS

Staff has reviewed the proposed special exception for consistency with the City's Comprehensive Plan and the Unified Land Development Code (ULDC).

COMPREHENSIVE PLAN - CHAPTER 2 – FUTURE LAND USE

Future Land Use Goal 1: Ensure that the character and location of land uses maximize the potential for economic benefit and the enjoyment of natural and man-made resources by citizens while minimizing the threat to health, safety, and welfare posed by hazards, nuisances, incompatible land uses, and environmental degradation.

Staff Findings:

The character of the area surrounding the proposed development is predominantly mixed-use. The North Port Pines, an independent and assisted living facility, is immediately north and adjacent to the proposed multi-family project. Single-family homes are located east of, and adjacent to the site. St. Paul's Presbyterian Church and daycare are situated to the south and provide the surrounding residents with social benefits, spiritual support, and childcare facilities. Central Parc, a large-scale mixed-use development comprising commercial and residential uses, is under construction, and the Meridian, formerly known as the Villas of Hollybrook, an assisted living facility, has been approved for development. Both of these projects are located southwest of the project site. North Port Country Club Unit 3 (Sumter Green), a residential subdivision, is located immediately to the west. The potential mixed-use development provides a transition with the surrounding uses and diversified housing opportunities to serve the area.

The estimated construction costs for the total project are approximately \$37,000,000 for the multi-family and \$3,000,000 for the office, which would yield an estimated \$139,368 in ad valorem taxes for the multi-family use and \$11,300 in ad valorem taxes for the office use as an economic benefit to the City. While this is a preliminary amount the City can expect through the ad valorem tax, if the special exception is approved, the full financial impact analysis will be conducted as required at the time of the formal development master plan submission.

The city currently has eight parcels zoned OPI comprising a total of 31.01 acres. Four parcels are vacant, including the proposed site for the special exception and the parcel adjacent to Greenwood Avenue, which has an approved site development order for an assisted living facility. The remaining properties include a church, office building, nursing home, and a private school early learning facility. Tax search on the existing uses has found that the church is exempt from ad valorem taxes. The office use has a 10% tax cap, and the nursing home and school have contributed to ad valorem taxes by paying the entire assessment. Although these uses are permitted in the OPI district, these developments have not necessarily yielded the highest net benefit or job creation. Therefore, while multi-family is not an allowable use by right, denial of a special exception for this Pocatella property will not guarantee the development of a use that yields "maximum economic benefit."

The development master plan (**Exhibit E – Development Master Plan**) includes a dry and wet detention pond for stormwater facilities and will provide additional man-made resources. The wet detention pond will have a fountain or waterfall-type feature to give an aesthetic appeal and improve the water quality. The water feature is required per Section 18-10 of the ULDC and will be addressed at the time of the formal major site and development plan submittal. The applicant is proposing to preserve as many existing trees as possible. This will reduce impacts on the existing natural resources and will retain the natural beauty of the area. A 5-foot-wide sidewalk will be constructed on the site's southern portion adjacent to McKibben Drive. These sidewalks will connect to the existing multi-modal sidewalk on Sumter Boulevard, creating pedestrian and bicycle connectivity.

The project will be distanced significantly from the eastern residential neighborhood. There is a 50-foot drainage right-of-way with natural vegetation, and a 20-foot-wide platted maintenance, utility, and drainage easement; in addition, a 10-foot-wide type C landscape buffer is proposed along the property's boundary, outside the easements. The two-story carriage home, at the closest point to the 20-foot easement, is approximately set back an additional 36 feet. Therefore, the proposed development master plan provides for approximately 126 feet of separation between the new multi-family and the existing residential neighborhood. The remainder of the site boundary has a 10-foot-wide platted maintenance, utility, and drainage easement. To the west abutting Sumter Blvd, there is a 65-foot right-of-way with a divided landscape median and an existing 8-foot-high noise barrier wall separating the project from the North Port Country Club Unit 3 (Sumter Green). As a result, the site separation and landscape buffers will minimize nuisances to adjacent uses and create additional noise buffers.

Finally, the Comprehensive Plan does not define nor specify the applicability of the term "maximize economic benefit." Goal 1 provides for measurement of the project according to various factors, including, ensuring that the character and location of land uses maximizes the potential for economic benefit, and ensuring the enjoyment of natural and man-made resources by citizens while minimizing the threat to health, safety, and welfare posed by hazards, nuisances, incompatible land uses, and environmental degradation. The goal does not assign weight to the various considerations. Therefore, should the applicability of the economic benefit component go only to city revenues and job creation, the proposed project may not fully meet the intent of Goal 1. However, in consideration of the remaining factors, staff concludes that the proposed development is consistent with the Comprehensive Plan's Future Land Use Goal 1.

Future Land Use Policy 1.1: Professional Office – These lands are designated for professional and business offices, institutional, cultural, residential and associated uses (0.95 FAR, 15 DU/acre excluding bonuses, incentives or transfer of development rights. As a guideline, the residential use should not exceed 50% of the floor area).

Staff Findings: The Future Land Use Element of the City of North Port's Comprehensive Plan provides for professional and business offices, institutional, cultural, residential, and associated uses in the Professional Office Future Land Use Category. High-density residential is a permitted land use at 15 dwelling units per acre. Policy 1.1 further states, "As a guideline, the residential use should not exceed 50% of the floor area".

When considering a special exception, a determination is to be made on whether the use applied contributes to the zoning district as stated in the Comprehensive Plan and the Unified Land Development Code. The Future Land Use Policy does permit residential uses. While the intent of the 50% guideline may have been to allow residential as part of a physically and functionally integrated professional office project, the Cambridge Dictionary defines guideline as, "information intended to advise people on how something should be done or what something should be." Guidelines are recommendations that guide for best practices, while regulations are binding rules that must be obeyed. Therefore, despite the absence of a regulation requiring strict adherence to the 50% floor area ratio guideline, the applicant has allocated 2 acres of the site for professional and business office, institutional, or associated uses, which are permitted by right.

Staff concludes that the proposed development is consistent with Chapter 2, Future Land Use Element Policy 1.1, of the City of North Port's Comprehensive Plan.

COMPREHENSIVE PLAN - CHAPTER 3 - TRANSPORTATION ELEMENT GOALS, OBJECTIVES, AND POLICIES

Policy 4.4: The City shall continue to implement its Unified Land Development Code to provide adequate access management controls to limit the proliferation of commercial and residential driveways along arterial and collector roadways. Current platted lots with direct access to arterial and collector roadways may continue to develop. When acquiring rights-of-way for future expansions of arterial and collector roadways, the City shall also examine the feasibility of developing parallel access roads/drives that capture residential and non-residential driveway traffic and distribute the traffic to limited points along the arterial or collector roadway.

Staff Findings: The proposed development will be accessed by two means of ingress and egress on the north side of Pocatella Avenue and the south side of McKibben Drive. There will be no vehicular access by driveway onto Sumter Boulevard and no impact on the existing multi-modal trail; therefore, minimizing additional connections onto the arterial road, Sumter Boulevard.

The traffic impact statement provided by the developer included a turn lane analysis of the two intersections along South Sumter Boulevard at Pocatella to determine if left-turn and or/right-turn lane improvements will be required to mitigate project impacts. The existing southbound left-turn lane was evaluated to determine if the current length of this lane would be adequate to accommodate background traffic and project traffic. It was determined that the existing length is adequate and is not anticipated to require any improvement. At the intersection of South Sumter Boulevard and McKibben Drive, the same approach and evaluation were conducted. The result is that no turn lane improvement is anticipated to be required for this movement. The City's Public Works Engineering Division reviewed the traffic impact statement and raised no issues regarding the determination that no additional turn lanes are warranted.

Staff concludes that the proposed development meets the Comprehensive Plan Transportation Element Goals, Objectives, and Policies, Policy 4.4.

Chapter 8 HOUSING ELEMENT GOALS, OBJECTIVES, AND POLICIES.

Goal 1: To promote the preservation and development of high-quality, balanced, and diverse housing options for persons of all income levels throughout the City of North Port.

Objective 1: To provide a variety of housing types and affordability levels to accommodate the present and future housing needs of North Port residents.

Policy 1.3: The City shall continue to encourage private sector efforts through the provision of incentives in the Unified Land Development Code to construct housing alternatives to the single family detached dwelling unit.

Policy 1.7: Accommodate the production of a diversity of type and price of housing through the land use and zoning process to encourage a broad range of housing opportunities, including single/multi-family, owner/rental, and permanent/seasonal, to meet the community's residential and economic needs.

Policy 1.9: Consistent with the Future Land Use Element and the Capital Improvement Element, housing should be located within areas where supporting infrastructure is available or planned including public transit, schools, parks, emergency services, hurricane shelters and utilities.

Policy 6.1: Ensure a compatible relationship between new housing and circulation patterns and encourage pedestrian and bicycle interconnectivity and transit-friendly communities in order to minimize traffic impacts and promote healthy lifestyles.

Staff Findings: This project would provide a housing alternative to single-family attached dwellings and supply diverse housing options and affordability levels to accommodate the present and future housing needs of North Port residents, as the development will comprise Class A, garden-style luxury mixed-type residential units (apartments and carriage homes). With Sarasota Memorial Hospital expected to be constructed at the northeast segment of Sumter Boulevard, the proposed development will provide housing options to accommodate the hospital's workforce.

The Utilities Department has provided written confirmation through a willingness to serve letter that they have the capacity at both water and sewage treatment plants to provide City water and sewer to serve the development.

Connectivity to the existing multi-modal sidewalk on Sumter Boulevard will be provided to support pedestrian and bicycle transportation options. The development site is located within the service area of the Sarasota County Breeze on-demand public transit system.

The Shoppes of North Port and the Coco Plum Villages Shoppes are all within ½ a mile of walking and biking distance, supporting the effort to minimize traffic impacts, and promoting healthy lifestyles. McKibben Park is located less than ½ mile from the site and offers additional recreational opportunities for both land and water-based activities, such as a canoe/kayak launch, basketball, tennis, and racquetball courts. In addition, Heron

Creek Middle School and North Port High School are located within 5 miles of the project site.

The City of North Port Public Works Engineering staff completed a trip generation comparison based on a total of 91,500 square feet of buildings to determine the traffic impact for the proposed residential multi-family use and accessory uses versus the office uses. The comparison is based on the trips in the following scenarios:

Scenario #1 Propose use: Multi-Family (175 Units), OPI (10,000 sf) Figure 1

Scenario #2 Uses permitted by the Office, Professional, Institutional (OPI) Zoning District: (based on 91,500 sq ft building area) Figure 2

DMP-23-139		8/23/2023		
<i>Pocatella Avenue Multi-Family</i>				
TRIP COMPARISON				
Proposed Use: Multi Family (175 Units), OPI (10,000 sf)				
Proposed Buildings:				
Building Use	Building Area (Sq Ft)			
Leasing, Office, Fitness	10,000			
2-Story Carriage Homes	4,000			
3-Story Apartment Building	64,000			
Garage	7,500			
Maintenance Building	1,000			
OPI	5,000			
Total Proposed Building Area	91,500 sq ft			
Trips Generated by Proposed Land Uses:				
Description	Total	In	Out	
Multi-Family - Low Rise (LUC 220)	(based on 175 Dwelling Units)			
Weekday, Daily Trips	1,198	599	599	
Weekday, AM Peak Hour Trips	77	18	59	
Weekday, PM Peak Hour Trips	96	60	36	
General Office (LUC 710)	(based on 10,000 sf floor area = 5000 sf x 2 floors)			
Weekday, Daily Trips	156	78	78	
Weekday, AM Peak Hour Trips	23	20	3	
Weekday, PM Peak Hour Trips	25	4	21	
Total:				
Weekday, Daily Trips	1,354	677	677	
Weekday, AM Peak Hour Trips	100	38	62	
Weekday, PM Peak Hour Trips	121	64	57	

Figure 1- Proposed uses

Trips Generated by Existing Permitted Land Uses (based on 91,500 sq ft building area):			
Description	Total	In	Out
General Office (LUC 710)			
Weekday, Daily Trips	1,074	537	537
Weekday, AM Peak Hour Trips	155	136	19
Weekday, PM Peak Hour Trips	77	13	64
Small Office Building (LUC 712)			
Weekday, Daily Trips	1,317	659	658
Weekday, AM Peak Hour Trips	153	125	28
Weekday, PM Peak Hour Trips	198	67	131
Medical - Dental (LUC 720)			
Weekday, Daily Trips	3,824	1,912	1,912
Weekday, AM Peak Hour Trips	222	175	47
Weekday, PM Peak Hour Trips	188	56	132
Drive-In Bank (LUC 912)			
Weekday, Daily Trips	9,182	4,591	4,591
Weekday, AM Peak Hour Trips	910	528	382
Weekday, PM Peak Hour Trips	1,922	961	961
Average of permitted land uses:			
Weekday, Daily Trips	3,849.3	1,925	1,924.5
Weekday, AM Peak Hour Trips	360	241.0	119.0
Weekday, PM Peak Hour Trips	596	274	322

Figure 2 - Uses Permitted by Zoning District

The calculations show that the proposed multi-family use has a significantly lower traffic impact than the permitted office use, resulting in less adverse impact than the land uses permitted by right.

Staff concludes that the proposed development is consistent with Chapter 8, Goal 1, Objective 1, and Policies 1.3, 1.7, 1.9, and 6.1 of the Comprehensive Plan.

CHAPTER 11 ECONOMIC DEVELOPMENT ELEMENT GOALS, OBJECTIVES, & POLICIES.

Goal 5: Achieve an economically stable community with a superior quality of life.

Policy 5.1.1: Expand urban, sub-urban and neighborhood infill development and redevelopment housing options that support the workforce by planning for development near employment and transportation centers.

Policy 5.1.2: Expand housing options that support the local workforce by planning for development near employment and transportation centers.

Policy 5.1.3: Promote policies and activities that support the quality of life of our targeted workforce.

Policy 5.1.5: Attract young professionals by supporting urban, sub-urban, and neighborhood infill development and redevelopment as the city evolves and grows with new industries and new residents.

Staff Findings: The proposed project will support the expected additional workforce with the new Sarasota Memorial Hospital project and will expand housing options for the existing workforce who do not want homeownership and prefer simplified lifestyles. Professionals who commute can utilize the Sarasota County Breeze on-demand public transit system, which serves the project area. The workforce population employed by the retail and commercial businesses located within Activity Center #1 would have the ability to walk or bike ride to their jobs as the Shoppes of North Port and Cocoplum Village Shoppes are located within a ½ mile, and the other commercial businesses on US-41 are located within 1-2 miles of the site.

Staff concludes that the proposed development is consistent with Chapter 11, Goal 5, and Policies 5.1.1, 5.1.2, 5.1.3, and 5.1.5 of the Comprehensive Plan.

V. SPECIAL EXCEPTION - FINDINGS

Pursuant to ULDC Article XXII. Special Exceptions, Section 53-259. Findings. A. states, "Before any special exception shall be approved, the Planning and Zoning Advisory Board and City Commission shall determine that:

- (1) The granting of the special exception will not adversely affect the public interest, health, safety, and general welfare;
- 2) That the specific requirements in the Schedule of District Regulations (Part 2) governing the individual special exception, if any, have been met by the petitioner;

ULDC Section 53-259. A (3) also includes a list of 16 findings (**listed as letters a-p**) that where applicable, have been met. The findings will be listed separately for each special exception request as each must be able to stand on its own. Staff and the applicant's responses to each finding for the special exception are as follows:

- (a) **The proposed use shall be consistent with the intent, goals, objectives, policies, and programs of the City of North Port Comprehensive Plan and the intent of the zoning district as defined in this Unified Land Development Code for the area in which the property is located.**

Applicant Response: *The applicant has provided a detailed response to item (a) consistency with the intent, goals, objectives, policies and programs of the City of North Port Comprehensive Plan and the intent of the zoning district for the area in which the property is located. This response is attached as (Exhibit D) Narrative/Applicant Response*

Staff Findings: Per the Comprehensive Plan analysis above, the proposed use is consistent with the following goals and policies of the Comp Plan.

- Transportation Element Policy 4.4, since two means of ingress and egress on Pocatella and McKibben will provide adequate access management controls to limit the proliferation of commercial and residential driveways along arterial and collector roadways. The development was also found to be consistent with the following Policies of the Comprehensive Plan.
- Housing Element Policy 1.3, the proposed development will provide housing alternatives to the single-family detached dwelling unit and provide a diversity of types and prices of housing consistent with Policy 1.7.
- Housing Element Policy 1.7 accommodate the production of a diversity of type and price of housing through the land use and zoning process to encourage a broad range of housing opportunities, including single/multi-family, owner/rental, and permanent/seasonal, to meet the community's residential and economic needs.
- Consistent with Housing Element Policy 1.9, the proposed housing is located within areas where infrastructure and public transit are available.
- Housing Element Policy 6.1 provides a compatible relationship with new housing and circulation patterns and encourages pedestrian and bicycle interconnectivity.
- Housing Element Objective 7: Increase housing options and community livability by establishing mixed-use development and design standards through which residential dwelling units, commercial and office uses are intermixed with public amenities and aesthetics.
- Housing Element Policy 7.1: Promote transit supportive mixed use residential development in close proximity to services to reduce dependence on automobile use and encourage the placement of transit shelters where feasible.
- Economic Development Policy 5.1.2 expanding housing options that support the workforce by planning development near employment and transportation centers.
- Policy 5.1.3 promote policies and activities that support the quality of life of our targeted workforce. The proposed project is adjacent to the linear park along Sumter Boulevard, providing enjoyment and quality of life by experiencing nature and physical activities.
- Policy 5.1.5. The proposed development will attract young professionals by providing diversified housing options, and most young professionals want to avoid the responsibility of home ownership and maintain a work/life balance by enjoying the amenities that apartment living can provide.

Staff Conclusion: The proposed project is consistent with the Comprehensive Plan, Future Land Use Policy 1.1, Transportation Element Policy 4.4, Housing Element Policy 1.3, 1.7, 1.9, 6.1, Objective 7, Policy 7.1, and Economic Development Policy 5.1.2, 5.1.3, and 5.1.5.

(b) The density or intensity of the proposed use shall be consistent with the intended future use of the designated land use area in which the property is located, in accordance with the provisions of the Future Land Use Plan Map contained in the Comprehensive Plan.

Applicant Response: *The proposed development with a density of 15 dwelling units per acre is consistent with the provisions for Office, Professional Institutional designated properties contained in the Comprehensive Plan. Furthermore, we are below the 95% OPI FAR maximum with a FAR of 44.8%. This includes both the residential and office uses.*

*Total Site Area = 11.7 acres x 43,560 = 509,652 Total Building Floor Area = 228,500
FAR = 44.8%*

Staff Findings: Policy 1.1 of the Future Land Use Element Goals, Objectives, & Policies of the City of North Port's Comprehensive Plan provides for professional and business offices, institutional, cultural, residential, and associated uses in the Professional Office Future Land Use Category. Residential is permitted with a maximum of 15 dwelling units per acre. Section 53-93 of the ULDC provides the maximum density/intensity for the OPI zoning district is 15 dwelling units per acre.

The maximum density of 15 dwelling units per acre for the project's multi-family use is consistent with Policy 1.1 of the Comprehensive Plan Professional Office. However, it does not meet the guideline that the residential component should not exceed 50% of the floor area.

Staff Conclusion: The applicant has allocated a minimum of 2 acres for professional and business office, institutional use. As previously stated, office use is permitted under the OPI zoning district. Furthermore, guidelines are recommendations that guide best practices, while regulations are binding rules that must be obeyed. The proposed mixed-use development, including the residential unit density, meets the provisions of the Comprehensive Plan's Policy 1.1.

(c) The proposed use, singularly or in combination with other previously approved special exceptions, must not be detrimental to the health, safety, welfare, morals, order, comfort, convenience, appearance or prosperity of the neighborhood or adjacent uses; and shall be an economic benefit to the economy of the City.

Applicant Response: *The proposed use will not be detrimental to health safety, welfare, morals, comfort and convenience, appearance or prosperity of the neighborhood or adjacent uses.*

The property will elevate that standard of living in the community through its modern and inclusive design, thoughtful amenity package, thorough safety and wellness practices and standards. Our developments feature gated access entry for the safety of the residents and the surrounding properties. Our project is designed to elevate health, safety, and wellness of the community and our residents through active, on site top rated professional management.

Staff Findings: The proposed use will be adequately buffered from the surrounding uses and will be walled or have decorative fencing. The architectural design of the multi-family units and accessory structures is compatible with the surrounding uses. The project site is within walking and biking distance of the retail uses located on US-41 and the Sarasota County Breeze on-demand public transit service area.

Staff concludes: This finding has been met.

(d) The intensity of the proposed use shall be harmonious with the character of other uses in the neighborhood.

Applicant Response: *The property is located amidst several complimentary adjacent uses. To the north is an institutional senior living facility, the south – a church and daycare, to the east – a residential community with several buffers including a drainage and maintenance easement (20’), drainage ditch (50’5”), and landscape buffer (10’). This makes a total of 80’5” from the neighboring property line on the east. This area will also be landscaped according to the Type C buffer requirements in the City building code. Our property is buffered from the residential community to the west by a 10-foot drainage and maintenance easement, City greenway/multimodal ROW of 112’5” at its widest and 34’ at its narrowest, and 68’ roadway of Sumpter Boulevard. We are approximately 200 feet away from the neighborhoods to the west when you include the buffers of Sumpter Boulevard, City Greenway and both sidewalk buffers, and western boundary easement. A concept rendering has been provided with this application to demonstrate how the project will blend in naturally with the neighborhood.*

Staff Findings: The proposed multi-family use and accessory structures will be buffered with landscaping and a wall or decorative fence. The buildings comprise two-story carriage houses and one-story garages adjacent to the residential properties east of the site. The remaining three-story buildings are placed closer to Sumter Blvd. This provides a transition from the more intense uses of the assisted living facility and church to the lower-density residential to the east and the west of the development site.

Staff concludes: The proposed multi-family use is harmonious with the character of other uses in the neighborhood.

(e) The height and orientation of any proposed structure(s) shall be compatible with existing neighboring structures and uses.

Applicant Response: *The proposed maximum building height is three stories and with extensive setbacks and buffers we are compatible with existing neighboring structures. We've placed our shorter buildings nearer to the eastern side of our site to avoid larger buildings adjacent to neighbors. We have included a concept rendering to demonstrate this as well. Details of the location of the structures on site and orientation can be found on (Exhibit E) Development Master Plan.*

Staff Findings: The buildings will be placed at different heights. The buildings with the lowest height will be placed adjacent to the residential properties east of the site at approximately the same size as the residential buildings. The typical height of a single-family home one story home is approximately 15-20 in height. Across Sumter Blvd, the Sumter Green subdivision is located on the west side of the site. Sumter Green has a 65-foot right-of-way with a divided landscape median and an existing 8-foot-high noise barrier wall separating the subdivision from the proposed development. This separation and the setbacks and landscape buffers, the height and orientation of the buildings are compatible with the neighboring structures and uses.

The maximum building height for this zoning district is 70 feet, regardless of whether a professional office, institutional or multi-family building is located on the site. The maximum building height proposed for the multi-family development is 50 feet, which falls under the allowed maximum height.

Staff concludes: The proposed heights and orientation of the buildings are compatible with the existing neighboring uses and meet the maximum height requirements for this zoning district.

(f) The subject parcel shall be adequate in shape and size to accommodate the proposed use and provide for appropriate separation between neighboring uses.

Applicant Response: *At only 44.8% FAR, the size and shape of the site is adequate to accommodate the proposed development. While we are only required to provide 30% open space, our site provides 52% open space (263,150 square feet). Buffers as mentioned previously include landscape buffers, drainage and maintenance buffers, roadways, and drainage ditches. All building setbacks in the code will also be met. Buffer details can be found on (Exhibit E) Development Master Plan.*

Staff Findings: The subject parcel contains 11.7 acres and is accessible from Pocatella Avenue and McKibben Drive. The project meets the minimum 35% open space requirement, and if the special exception is approved, the project will meet the development standards of the ULDC at the time of site development. With the setbacks, buffers, and separation by the right-of-way, drainage canal, and divided landscaped

median, the parcel is adequate in shape and size to accommodate the proposed multi-family use and accessory structures.

Staff Concludes: This finding has been met.

(g) The proposed use shall be adequately screened and buffered to effectively separate traffic, light and noise from existing or intended nearby uses.

Applicant Response: *The proposed development use is adequately screened and buffered to effectively separate traffic, light, and noise from existing or intended nearby uses. A detailed conceptual landscape plan can be found in (Exhibit E) Development Master Plan.*

Staff Findings: The proposed multi-family use will be adequately screened and buffered. The ULDC requires a Type C perimeter landscape buffer of ten feet in width, will include one tree per 40 linear feet on center, and will meet the shrub requirements. The buffers provide adequate separation and eliminate or minimize potential nuisances such as noise, dirt, and litter from existing or nearby uses.

Staff Concludes: This finding has been met.

(h) The loading and/or refuse areas shall not impose negative visual, odor or noise impacts on abutting uses or thoroughfares.

Applicant Response: *Refuse areas have been located to prevent negative visual, odor or noise impacts on abutting thoroughfares. The refuse area location can be found on the Development Master Plan. We have reviewed this location with staff and received their approval and will meet their requirements for screening. We will screen the dumpster areas with an enclosed wall hiding the dumpster from clear view. A decorative trellis or similar overhead section will also be installed. On-site maintenance staff will be responsible for daily oversight to ensure cleanliness and good working order of the compactor/dumpster area.*

Staff Findings: The refuse area is located north of the site adjacent to Pocatella Avenue. The City of North Port Solid Waste Division has reviewed the proposed refuse area location and provided conditions to be met during the site development. The refuse area will meet the requirements for solid waste, including the dumpster corral requirements to be placed in a corral with a wall to mitigate noise. In addition, the dumpster corral will have front gates to prevent the refuse from posing a negative or visual impact.

Staff Concludes: This finding has been met.

- (i) The size and location of proposed sign(s) shall be in compliance with Chapter 29, Sign Regulations of these regulations, and shall be compatible with the character of the existing neighboring uses.

Applicant Response: *The proposed signs will be in compliance with all requirements of Chapter 29, Sign Regulations. We have included our signage locations on the Development Master Plan.*

Staff Findings: The applicant is proposing signage to be in compliance with Chapter 29, Sign Regulations. In addition, Section 53-99 provides that permitted signs for the OPI zoning district are freestanding monument and wall signs as well as exempt signs. The applicant is not requesting any waivers from the sign regulations. Signage will be reviewed at the time of site development and shall comply with the ULDC regulations governing signage.

Staff concludes this finding has been met.

- (j) Exterior lighting shall be harmonious with the character of existing neighboring uses, in terms of glare, and required foot candles.

Applicant Response: *The proposed lighting is harmonious with the character of neighboring uses. The lighting plan is included in the Development Master Plan. We have also provided the staff with detailed specifications and example lighting that we plan to use on the project.*

Staff Findings: The proposed lighting shall meet the requirements of Section 37-50 of the ULDC regarding illumination and control of glare. All lighting shall be aimed, located, designed, fitted, and maintained so as not to present a hazard to drivers or pedestrians by impairing their ability to safely traverse and so as not to create a nuisance by projecting or reflecting objectionable light onto a neighboring use or property. Lighting shall meet the requirements of the ULDC and will be reviewed in detail at the time of the development master plan submittal and site development.

Staff concludes this finding has been met.

- (k) The ingress and egress to the subject parcel and any structure involved shall not adversely affect traffic flow, safety or control.

Applicant Response: *The proposed ingress and egress to the subject parcel will not adversely affect traffic flow, safety or control. We conducted a traffic study at staff's request to ensure this and have included this traffic study as a part of the application. You can find the full report from March 31st, 2023 beginning on page 27. Staff specifically asked us to study whether any improvements or turn lanes would be warranted given the increase in traffic from the project at both South Sumter and Pocatella as well as South*

Sumter and Mckibben. It was determined that the existing turn lanes along Sumter are sufficient for future traffic flows and no extra turn lanes are necessary to ensure traffic safety

Staff Findings: See pages 9 and 10 of this staff report for the City of North Port Public Works Engineering trip generation comparison. The resulting numbers illustrate the proposed multi-family use has a significantly lower traffic impact than the permitted office use, resulting in less adverse impact than the land uses permitted by right.

Public Works conclusion: The OPI zoning district has several non-residential land uses that are currently permitted on this site. Without knowing specific alternatives to the proposed development, it is not possible to universally state that the proposed special exception will create a lesser traffic impact than some other alternative, especially if the alternative is to develop on a smaller portion of the site. However, by comparing some of the higher-intensity land uses that are allowable under the existing zoning district, such as general office, medical clinics, and drive-in banks, it can be stated that, on average, a similarly sized development following the existing allowable land uses are likely to generate significant more trips and produce a greater traffic impact than the proposed residential community that the special exception is requesting.

Fire/Rescue conclusion: Fire/Rescue has reviewed the proposed special exception ingress/egress and has indicated no issues with the ingress/egress or emergency stabilized access.

Staff concludes this finding has been met.

(l) The access and internal circulation shall be adequate in case of fire or emergency.

Applicant Response: *The proposed access and internal circulation have been reviewed by the Fire Marshall and are adequate in case of fire or emergency. The Development Master Plan specifically shows stabilized emergency access areas and turnaround areas.*

Staff Findings: The proposed access and internal circulation have been reviewed by Fire/Rescue and have indicated no issues with the proposed ingress/egress or emergency stabilized access.

Staff concludes this finding has been met.

(m) The proposed use shall not adversely affect traffic flow, safety or control on the surrounding roadway system.

Applicant Response: *The proposed use will not adversely affect traffic flow, safety or control. We conducted a traffic study at staff's request to ensure this and have included this traffic study as a part of the application. This report considers the use of the project. You can find the full report from March 31st, 2023 beginning on page 27. Staff specifically*

asked us to study whether any improvements or turn lanes would be warranted given the increase in traffic from the project at both South Sumter and Pocatella as well as South Sumpter and Mckibben. It was determined that the existing turn lanes along Sumpter are sufficient for future traffic flows and no extra turn lanes are necessary to ensure traffic safety

Staff Findings: See response to (k) above.

Public Works conclusion: See response to (k) above.

Staff concludes this finding has been met.

(n) The location, type and availability of proposed potable water systems shall be adequate for the proposed use and shall not adversely affect neighboring potable water systems.

Applicant Response: *Potable water is available to the site and is adequate for the proposed use and without effect on neighboring potable water systems.*

Staff Findings: The Utilities Department has provided a willingness to serve letter to provide water, sewer, and eventually reclaimed water to the site (**Exhibit F – Willingness to Serve**).

Staff concludes this finding has been met.

(o) The location, type, and availability of proposed wastewater systems shall be adequate for the proposed use and compatible with drainage conditions in the area and neighboring uses.

Applicant Response: *Wastewater is available to the site and is adequate for the proposed use and is compatible with the drainage conditions in the area.*

Staff Findings: The Utilities Department has provided a willingness to serve letter to provide water, sewer, and eventually reclaimed water to the site (**Exhibit F-Willingness to Serve**).

Staff concludes this finding has been met.

(p) The proposed use shall not cause or intensify flooding of neighboring uses.

Applicant Response: *The City of North Port requires stormwater design that will not cause or intensify flooding. Our engineer is intimately familiar with the requirements of the City of North Port and our conceptual plan meets the requirements set forth by the City of North Port building code. The full stormwater plan will be fully designed at the Master*

Site Plan stage of the development. The drainage and utility plan can be found on page 22 of the application

Staff Findings: The proposed site has been reviewed by Public Works Stormwater for the purpose of the special exception. Further stormwater review will occur at the time of the formal submittal of the development master plan and the major site and development plan. The future detailed design of the stormwater management system must meet all requirements in the City of North Port Unified Land Development Code (ULDC) Stormwater Regulations. Public Works Stormwater has reviewed the drainage summary, and no issues have been raised. However, if any issues arise at the time of the site development, they will be addressed and resolved at that time.

Staff concludes this finding has been met.

VI. LEGAL REVIEW

The accompanying Resolution No. 2023-R-52 has been reviewed by the City Attorney as to form and correctness.

VII. PUBLIC NOTICE

Pursuant to ULDC Section 53-258 A., Notice of the public hearings was mailed to the property owner and agent of record on Thursday, August 31, 2023, and October 6, 2023 (**Exhibit G – Notice to Property Owner and Agent**)

Pursuant to ULDC Section 53-258 B., Notice of the public hearings was advertised in a newspaper of general circulation on Tuesday, September 5, 2023, and October 31, 2023 (**Exhibit H – Notice of Public Hearing**)

Pursuant to Section 53-258 C., notice was mailed to all property owners within 1,320 feet of the subject property on Monday, August 14, 2023, and October 31, 2023 (**Exhibit I – Notice to Property Owners**)

VIII. PUBLIC HEARINGS

Planning & Zoning Advisory Board Public Hearing	September 21, 2023 9:00 AM or as soon thereafter – Continued to date certain October 5, 2023
Planning & Zoning Advisory Board Public Hearing	October 5, 2023 9:00 AM or as soon thereafter
City Commission Public Hearing	November 14, 2023 10:00 AM or as soon thereafter

IX. RECOMMENDED MOTIONS

MOTION TO APPROVE: I move to recommend approval of Resolution No. 2023-R-52, Petition No. SPX-23-139 and find that, based on the competent substantial evidence: granting the special exception will **NOT** adversely affect the public interest, health, safety and general welfare; the specific requirements in the schedule of district regulations governing the individual special exception have been met; and the 16 standards listed in Section 53-259(3) of the Unified Land Development Code have been met.

MOTION TO APPROVE WITH CONDITIONS: I move to recommend approval of Resolution No. 2023-R-52, Petition No. SPX-23-139 with the following conditions [\[list conditions\]](#); and find that, based on the competent substantial evidence: granting the special exception will **NOT** adversely affect the public interest, health, safety and general welfare; the specific requirements in the schedule of district regulations governing the individual special exception have been met; and the 16 standards listed in Section 53-259(3) of the Unified Land Development Code have been met.

MOTION TO DENY: I move to recommend denial of Resolution No. 2023-R-52, Petition No. SPX-23-139 and find that, based on the competent substantial evidence: granting the special exception will adversely affect the public interest, health, safety and general welfare; all of the 16 standards listed in Section 53-259(3) of the Unified Land Development Code have **NOT** been met; and:

[Select one or more WITH SUPPORTING REASONS:]

- (a) The proposed use **IS NOT** consistent with the intent, goals objectives, policies and programs of the City of North Port Comprehensive Plan and the intent of the zoning district as defined in this Unified Land Development Code for the area in which the property is located.
- (b) The density or intensity of the proposed use **IS NOT** consistent with the intended future use of the designated land use area in which the property is located, in accordance with the provisions of the Future Land Use Plan Map contained in the Comprehensive Plan.
- (c) The proposed use, singularly or in combination with other previously approved special exceptions, **IS** detrimental to the health, safety, welfare, morals, order, comfort, convenience, appearance or prosperity of the neighborhood or adjacent uses; and shall be an economic benefit to the economy of the City.
- (d) The intensity of the proposed use **IS NOT** harmonious with the character of other uses in the neighborhood.
- (e) The height and orientation of any proposed structure(s) **IS NOT** compatible with existing neighboring structures and uses.
- (f) The subject parcel **IS NOT** adequate in shape and size to accommodate the proposed use and provide for appropriate separation between neighboring uses.
- (g) The proposed use **IS NOT** adequately screened and buffered to effectively separate traffic, light and noise from existing or intended nearby uses.
- (h) The loading and/or refuse areas **IMPOSES** negative visual, odor or noise impacts on abutting uses or thoroughfares.
- (i) The size and location of proposed sign(s) **IS NOT** in compliance with Chapter 29, Sign Regulations of these regulations, and **IS NOT** compatible with the character of the existing neighboring uses.
- (j) Exterior lighting **IS NOT** harmonious with the character of existing neighboring uses, in terms of glare, and required foot candles.
- (k) The ingress and egress to the subject parcel and any structure involved adversely **AFFECTS** traffic flow, safety or control.
- (l) The access and internal circulation **IS NOT** adequate in case of fire or emergency.
- (m) The proposed use adversely **AFFECTS** traffic flow, safety or control on the surrounding roadway system.

- (n) The location, type and availability of proposed potable water systems **IS NOT** adequate for the proposed use and adversely **AFFECTS** neighboring potable water systems.
- (o) The location, type and availability of proposed wastewater systems **IS NOT** adequate for the proposed use and compatible with drainage conditions in the area and neighboring uses.
- (p) The proposed use **CAUSES OR INTENSIFIES** flooding of neighboring uses.

X. EXHIBITS
A. Affidavit
B. Warranty Deed
C. Application
D. Narrative/Applicant Response
E. Development Master Plan
F. Willingness to Serve
G. Notice to Property Owner and Agent
H. Notice of Public Hearing
I. Notice to Property Owners

AFFIDAVIT

I (the undersigned), JOSEPH A. HOET being first duly sworn, depose and say that I am the owner, attorney, attorney-in-fact, agent, lessee or representative of the owner of the property described and which is the subject matter of the proposed application; that all answers to the questions in this application, and all sketches, data and other supplementary matter attached to and made a part of the application are honest and accurate to the best of my knowledge and belief. I understand this application must be complete and accurate before the application can be processed or hearing can be advertised, and that I am authorized to sign the application by the owner or owners. I authorize City of North Port staff and agents to visit the site as necessary for proper review of this application. *If there are any special conditions such as locked gates, restricted hours, guard dogs, etc., please provide the name and telephone number of the individual who can allow access.*

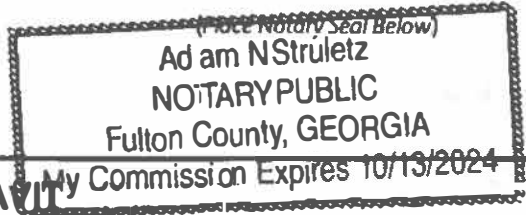
Sworn and subscribed before me this 20th day of March, 2023

[Signature] Signature of Applicant or Authorized Agent JOSEPH A HOET (AGENT) Print Name and Title

STATE OF Georgia COUNTY OF Fulton

The foregoing instrument was acknowledged by me this 20th day of March, 2023, by Adam Struletz who is personally known to me or has produced a Georgia Driver's License as identification.

[Signature]
Signature - Notary Public



AFFIDAVIT

AUTHORIZATION FOR AGENT/APPLICANT

I, ZIA BETT, property owner, hereby authorize JOSEPH A. HOET to act as Agent on our behalf to apply for this application on the property described as (legal description) 4951 PECKTELL AVE

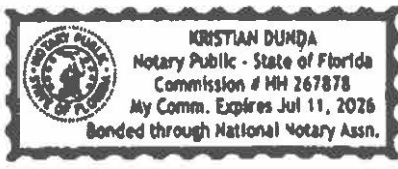
PID# 1001-16-0001
Owner [Signature] Date 3/20/2023

STATE OF FLORIDA COUNTY OF SARASOTA

The foregoing instrument was acknowledged by me this 20th day of MARCH, 2023, by ZIA BETT who is personally known to me or has produced _____ as identification.

[Signature]
Signature - Notary Public

(Place Notary Seal Below)



AFFIDAVIT

Exhibit A - Affidavit

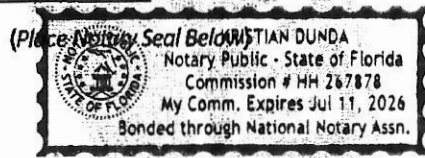
I (the undersigned), Joseph Holt being first duly sworn, depose and say that I am the owner, attorney, attorney-in-fact, agent, lessee or representative of the owner of the property described and which is the subject matter of the proposed application; that all answers to the questions in this application, and all sketches, data and other supplementary matter attached to and made a part of the application are honest and accurate to the best of my knowledge and belief. I understand this application must be complete and accurate before the application can be processed or hearing can be advertised, and that I am authorized to sign the application by the owner or owners. I authorize City of North Port staff and agents to visit the site as necessary for proper review of this application. *If there are any special conditions such as locked gates, restricted hours, guard dogs, etc., please provide the name and telephone number of the individual who can allow access.*

Sworn and subscribed before me this 3 day of October, 2023

[Signature] Joseph Holt, agent
Signature of Applicant or Authorized Agent Print Name and Title

STATE OF FLORIDA COUNTY OF SARASOTA
The foregoing instrument was acknowledged by me this 3rd day of OCTOBER, 2023, by JOSEPH HOLT who is personally known to me or has produced as identification.

[Signature]
Signature - Notary Public



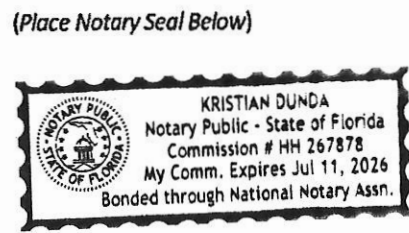
**AFFIDAVIT
AUTHORIZATION FOR AGENT/APPLICANT**

I, Zia Butt, property owner, hereby authorize Joseph Holt, Peter Van Buskirk, Kelley Klepper to act as Agent on our behalf to apply for this application on the property described as (legal description) 4951 Pocatella Avenue, PID# 1001-16-0001

[Signature] Date 10/3/2023
Owner Date

STATE OF FLORIDA COUNTY OF SARASOTA
The foregoing instrument was acknowledged by me this 3rd day of OCTOBER, 2023, by ZIA BUTT who is personally known to me or has produced as identification.

[Signature]
Signature - Notary Public

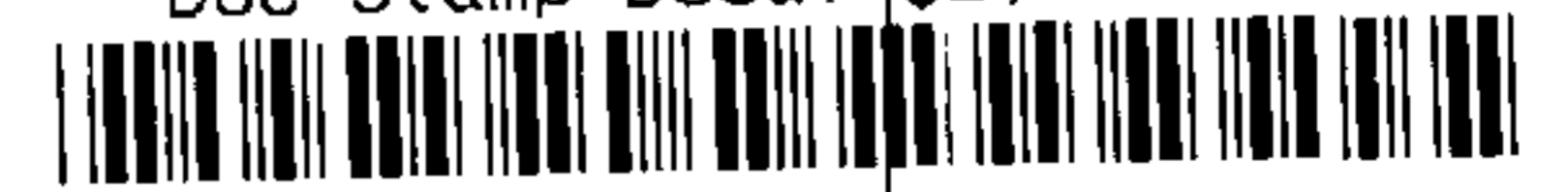


PREPARED BY/RETURN TO:
MELLOR & GRISSINGER
13801 - D Tamiami Trail
North Port, FL 34287
Tel: (941) 426-1193

RECORDED IN OFFICIAL RECORDS
INSTRUMENT # 2015078119 1 PG(S)
June 25, 2015 09:32:53 AM
KAREN E. RUSHING
CLERK OF THE CIRCUIT COURT
SARASOTA COUNTY, FL

Recording: \$10.00
Revenue Stamps: \$2,555.00

Doc Stamp-Deed: \$2,555.00



SPECIAL WARRANTY DEED

THIS INDENTURE, Made this 6th day of June 2015, between **NORTH PORT RETIREMENT CENTER, INC.**, Grantor, whose post office address is 4950 Pocatella Avenue, North Port, FL 34287 and **ZIA BUTT**, a married man, Grantee, whose post office address is 4950 Pocatella Avenue, North Port, FL 34287.

WITNESSETH, That said Grantor, for and in consideration of the sum of Ten Dollars and 00/100 (\$10.00) and other good and valuable consideration to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee, and Grantee heirs and assigns forever, the following described land situate, lying and being in Sarasota County, Florida to wit:

Tract D, 1st REPLAT OF 40th ADDITION TO PORT CHARLOTTE SUBDIVISION, a subdivision according to the plat thereof, recorded in Plat Book 26, Page 33, of the Public Records of Sarasota County, Florida. Property ID No.: 1001160001.

THIS INSTRUMENT has been prepared without benefit of title examination or opinion at the request of the parties hereto.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

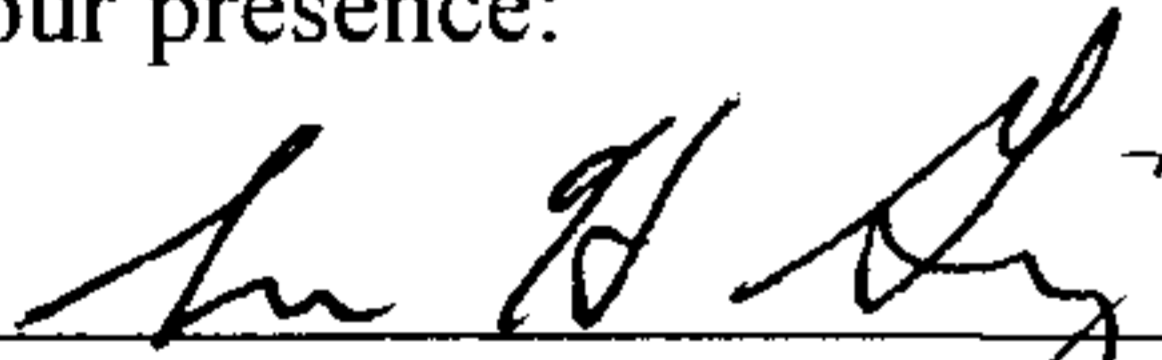
To Have and to Hold, the same in fee simple forever.

And the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 2014.

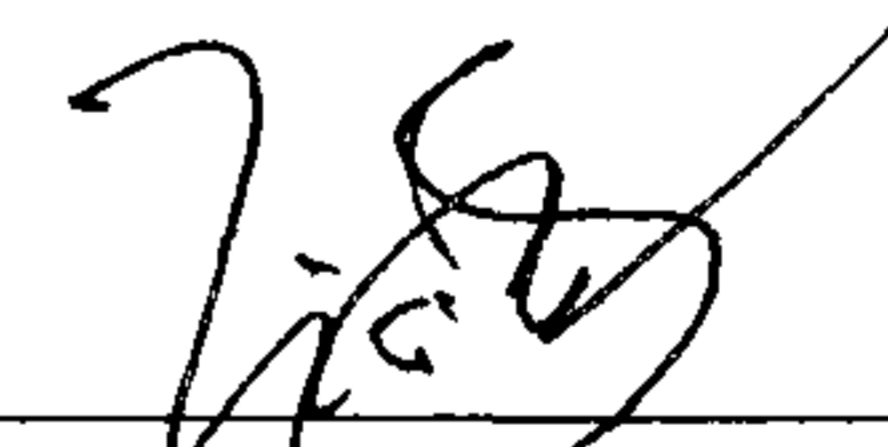
IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first written above.

Signed, sealed and delivered
In our presence:

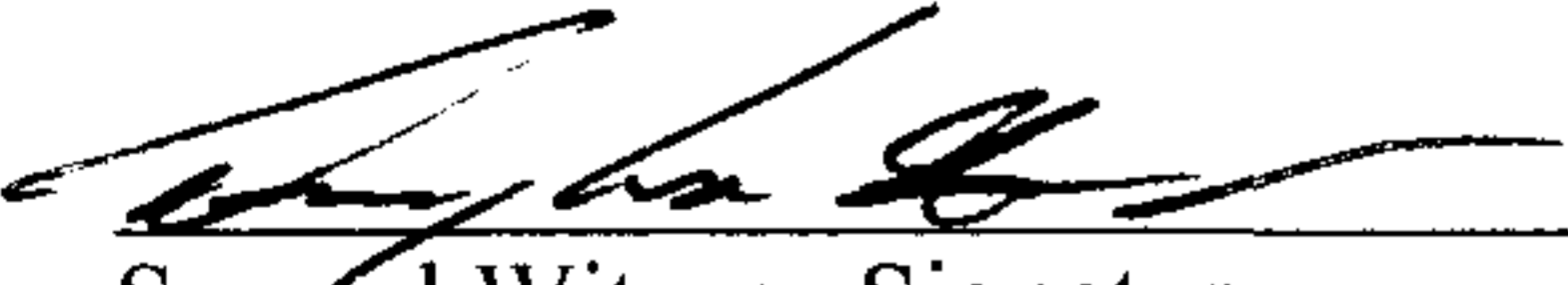
NORTH PORT RETIREMENT CENTER, INC.



First Witness Signature
Susan H. Grissinger
Print Name of First Witness



By: **ZIA BUTT, President**



Second Witness Signature
Douglas W. GRISSINGER
Print Name of Second Witness

STATE OF FLORIDA
COUNTY OF SARASOTA

The foregoing instrument was acknowledged before me this 6th day of June, 2015, by **ZIA BUTT**, as President of North Port Retirement Center, Inc, who is personally known to me, or, who produced _____ as identification.

My Commission Expires:



DOUGLAS W. GRISSINGER
MY COMMISSION # EE 843055
EXPIRES: October 11, 2016
Elected Thru Budget Notary Services

Sign 

NOTARY PUBLIC



CITY OF NORTH PORT
Neighborhood Development Services
Planning Division
Planninginfo@cityofnorthport.com

Special Exception Packet

The following items are to be included in the submission:

- Special Exception Application
- Affidavit(s)
- Special Exception Checklist
- Special Exception Fee Sheet
- Billable Fee Payment Agreement

Note

Please be advised that each application is considered a separate petition and will be reviewed as such. Packets will not be processed if incomplete or missing requested information.

If there is more than one property owner of the subject property, all owners must complete an affidavit.

There are additional costs included with this application. Fees for legal advertisements and adjacent property owner notifications will be billed to the applicant at actual cost. These costs shall be paid in full before any development orders/orders of approval are issued.



CITY OF NORTH PORT
Neighborhood Development Services
Planning Division
4970 City Hall Boulevard
North Port, FL 34286-4100
www.cityofnorthport.com
Phone (941) 429-7156

DATE RECEIVED – DATE STAMP

RECEIVED

By Sherry Willette-Grondin at 3:14 pm, Jul 06, 2023

SPECIAL EXCEPTION APPLICATION

Upon making any application to the City for any reason, the applicant agrees to comply with all the requirements of the Unified Land Development Code and further agrees to allow authorized city staff and personnel to enter and inspect the property during normal business hours

The City Commission may approve Special Exceptions, subject to appropriate safeguards. When appropriate, the City Commission may waive or modify special regulations contained in the Unified Land Development Code on a case-by-case basis, to ensure that the special exception will promote the public health, safety, welfare, morals, order, comfort, convenience, appearance, prosperity or the general welfare.

Date Application Received: _____ Accepted by: _____ Project No: _____ - _____ - _____

Above to Be Completed by Planning Staff

P.P. _____

Project Name: Pocatella Avenue Mixed-Use

Name of Applicant: Joseph Holt

Name of Corporation/LLC (if Applicable): _____

Street Address: 675 Ponce de Leon Avenue NE, Suite 8500

City: Atlanta State: GA Zip Code: 30308

Phone: _____ FAX No. _____ E-mail: joseph@amplocapital.com

Name of Property Owner: (if different from the applicant above) Zia Butt

Street Address: 4950 Pocatella Avenue

City: North Port State: FL Zip Code: 34287

Phone: _____ FAX No. _____ E-mail: _____

Name of Architect: (if Applicable) _____

Street Address: _____

City: _____ State: _____ Zip Code: _____

Phone: _____ FAX No. _____ E-mail: _____

Name of Engineer: (if Applicable) Peter Van Buskirk, P.E., Kimley-Horn & Associates, Inc.

Street Address: 1412 Jackson Street

City: Fort Meyers State: FL Zip Code: 33901

Phone: 239-271-2635 FAX No. _____ E-mail: peter.vanbuskirk@kimley-horn.com

Name of Attorney: (If Applicable) _____

Street Address: _____

City: _____ State: _____ Zip Code: _____

Phone: _____ FAX No. _____ E-mail: _____

Name of Surveyor: (If Applicable) _____

Street Address: _____

City: _____ State: _____ Zip Code: _____

Phone: _____ FAX No. _____ E-mail: _____

Name of Contractor: (If Applicable) _____

Street Address: _____

City: _____ State: _____ Zip Code: _____

Phone: _____ FAX No. _____ E-mail: _____

Property Description: (Please list additional PID's on a separate sheet of paper) (Information can be found at <http://www.sc-pa.com/testsearch/>)

Parcel I.D. No(s): 1. 1 0 0 1 - 1 6 - 0 0 0 1 2. _____

Legal: Lot(s): _____ Block: _____ Addition: 40th Tract or Parcel: D

Subdivision: Port Charlotte

Section: 33 Township: 39S Range: 21E Acreage: 11.7

Street Address: 4951 Pocatella Avenue

Purpose of Application: Please briefly state what the intended use of the property will be or why you are making this application (e.g. general project description).

Office and Residential Mixed-Use Development

Has this property undergone previous City development review and approval?

No: X Yes: _____ If yes, when? (Month/Date/Year) _____

Existing land use (e.g., house, commercial structure, vacant): Vacant

Surrounding existing land uses/zoning of adjacent properties:

North: Assisted Living

South: ROW and Church

East: Single Family

West: ROW and Single Family

Adopted Future Land Use Map Designation: Office Professional Institutional

Adopted Zoning Map Designation: OPI

Is the property located in an Activity Center or Town Center? Yes No If yes, please indicate which one _____

Provide the following information relative to the proposed development: (Answer all that apply)

<u>11.7</u>	Total acres		
<u>0</u>	Total wetland acres		
<u>2.0</u>	Total commercial acres	<u>10,000</u>	Total building square footage of commercial use
<u>9.7</u>	Total residential acres	<u>175</u>	Total number of residential units
<u>0</u>	Total government acres	<u>0</u>	Total building square footage of government use
<u>0</u>	Total industrial acres	<u>0</u>	Total building square footage of industrial use
<u>0</u>	Total park acres		
<u>0</u>	Total number of lots		
<u>16</u>	Total number of buildings		
<u>15 du / 0.4 FAR</u>	Floor area ratio or dwelling units / acre		
<u>18%</u>	Percentage of lot coverage by buildings		
<u>50'</u>	Building height measured in feet		
<u>500' +/-</u>	Minimum depth of property		
<u>1,020' +/-</u>	Minimum width of property		
<u>246,500</u>	Total maximum surface area of all impervious surfaces		
<u>48%</u>	Percentage of lot coverage of all impervious surfaces		
<u>322</u>	Number of off-street parking spaces		
<u>8</u>	Number of handicapped parking spaces		
<u>N/A</u>	Drive-thru access (please check if applicable)		
<u>52%</u>	Percentage of acres devoted to open space and storm water requirements		

FIRE & RESCUE:

Nearest Fire Hydrant: at site (0') (feet)

TRAFFIC:

List the Roadways immediately serving the site:

Pocatella Avenue _____

Sumter Boulevard _____

McKibben Drive _____

Nearest: Traffic Control Light: 1,700 (feet) Stop Sign: at site (0') (feet)

UTILITIES:

How will Potable Water service be provided? Please contact North Port Utilities (941) 240-8000.

_____ Private Well (Submit a letter or application from the Sarasota County Department of Health.)

North Port Utilities (Please provide a letter from the service provider stating that the proposed development is within their service area and that they have adequate capacity to serve the proposed development.)

How will Sanitary Sewer service be provided? Please contact North Port Utilities (941) 240-8000.

_____ Private Septic System (If property is located in the Conservation Restricted Overlay Zone a class 1 aerobic water treatment system is required for single family home sites. Submit a letter or application the Sarasota County Department of Health.)

North Port Utilities (Please provide a letter from the service provider stating that the proposed development is within their service area and that they have adequate capacity to serve the proposed development.)

STORMWATER: Please contact the City Stormwater Manager/Environmental at (941) 240-8321.

(Flood Information can be found at <http://www.cityofnorthport.com> Search: Flood Update)

Is the application site in a FEMA Hazardous Flood Zone? No: Yes: _____
If yes, what zone? _____

Is the application site in the Conservation Restricted Zone? No: Yes: _____
If yes, what zone? _____

Is the application site in the Big Slough Watershed Flood Zone? No: Yes: _____
If yes, what is the 100-year 1-day flood elevation? _____ ft. NGVD

Does the application site contain wetlands? Yes _____ No If yes, existing wetland acres: _____

Has the Departmental of Environmental Protection been notified of wetlands? Yes _____ No

Is the property located in the Myakka River Protection Zone? No: Yes: _____

Is the property adjacent to the Myakka River jurisdictional wetlands? No: Yes: _____

(If yes, please provide acreage and map of the area and schedule a meeting with City Stormwater Manager/Environmentalist.)

ENVIRONMENTAL:

Are there any known Historical or Archaeological sites on the property?

(If unsure, please contact Sarasota County – Division of Historical Resources, (941) 316-1115.)

No: Yes: _____ Please describe: _____

Has an Environmental Assessment Report/Review been prepared for this property?

No _____ Yes Date survey was conducted: March 11, 2022

Does the property contain gopher tortoise burrows, scrub jay habit, or any plant or animal species listed as "rare", "threatened", "endangered", or "species of special concern" by State and /or Federal agencies? If yes, the applicant will be required to produce documents on how listed species or habitats will be protected or managed at the Site Development stage.

No: _____ Yes: Please indicate which ones: Please see attached survey from Biotech Consulting Inc., dated 3/11/2022

***All of the information provided on this application is true and correct to the best of my knowledge.**



Signature of Applicant

6/1/2023
Date

Joseph A. Holt
Print Applicant Name

AFFIDAVIT

I (the undersigned), JOSEPH A. HOET being first duly sworn, depose and say that I am the owner, attorney, attorney-in-fact, agent, lessee or representative of the owner of the property described and which is the subject matter of the proposed application; that all answers to the questions in this application, and all sketches, data and other supplementary matter attached to and made a part of the application are honest and accurate to the best of my knowledge and belief. I understand this application must be complete and accurate before the application can be processed or hearing can be advertised, and that I am authorized to sign the application by the owner or owners. I authorize City of North Port staff and agents to visit the site as necessary for proper review of this application. *If there are any special conditions such as locked gates, restricted hours, guard dogs, etc., please provide the name and telephone number of the individual who can allow access.*

Sworn and subscribed before me this 20th day of March, 2023

[Signature]
Signature of Applicant or Authorized Agent

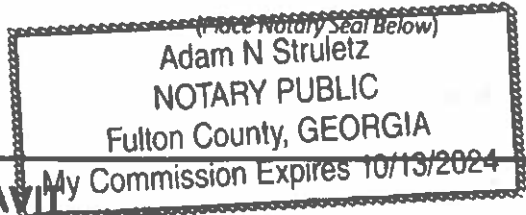
JOSEPH A HOET (AGENT)
Print Name and Title

STATE OF Georgia

COUNTY OF Fulton

The foregoing instrument was acknowledged by me this 20th day of March, 2023, by Adam Struletz who is personally known to me or has produced a Georgia Driver's License as identification.

[Signature]
Signature - Notary Public



AFFIDAVIT

AUTHORIZATION FOR AGENT/APPLICANT

I, ZIA BOTT, property owner, hereby authorize JOSEPH A. HOET to act as Agent on our behalf to apply

for this application on the property described as (legal description) 4951 ROCKTELL AVE

PID# 1001-16-0001

Owner [Signature]

Date 3/20/2023

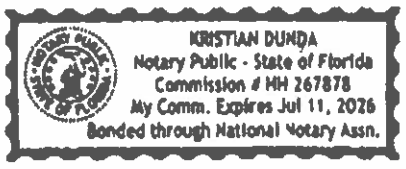
STATE OF FLORIDA

COUNTY OF SARASOTA

The foregoing instrument was acknowledged by me this 20th day of MARCH, 2023, by ZIA BOTT who is personally known to me or has produced _____ as identification.

[Signature]
Signature - Notary Public

(Place Notary Seal Below)



Checklist of Required Submittal Items:

SPECIAL EXCEPTION

Please digitally submit the following to PlanningInfo@cityofnorthport.com:

- Exhibit A: Project Narrative** (Narrative shall include responses to Sec 53-259. A.(3)(a-p) of the Unified Land Development Code)
- Exhibit B: Area Map**
- Exhibit C: Boundary survey** (A legal description and boundary survey signed and sealed by a registered land surveyor in the State of Florida.)
- Exhibit D- Title Assurance/ Current Deed**
- Exhibit E- Articles of Corporation/Articles of Organization** (If Corporation or LLC is applicable)
- Exhibit F: Development Master Plan**
- Exhibit G- Signs and Lighting Plan**
- Exhibit H- Landscaping (Screening & Buffering) & Tree Protection Plan**
- Exhibit I: Certification of payment of taxes and assessments**
- Exhibit J: Utilities availability letter**
- Exhibit K: Traffic Impact Statement**
- Digital files:** The entire submittal package in PDF format to PlanningInfo@cityofnorthport.com. Also, please submit all project related spatial information in either CAD .dwg , GIS Shapefile or File Geodatabase format as well. The data must have coordinates in at least 4 corners of the petition area. The Coordinate system must be: A Projected Coordinate System, State Plane, NAD 1983 StatePlane Florida West FIPS 0902 (US Feet).



CITY OF NORTH PORT Special Exception Fee Sheet

Property Location (Address): 4951 Pocatella Avenue, North Port, FL 34287
 PID(s) #: 1001-16-0001

Special Exception Calculation

Fees	Additional Fees	Total
\$2,500	\$11 per acre ____ acres	
TOTAL		\$2,636.00

- All fees should be made payable to the City of North Port. Fees must be paid prior to the processing of the submittal.
- Other billable fees will be assessed and will be required to be paid by the applicant as stated on the billable fee agreement.

Please contact Planning Staff if you have any questions, 941.429.7156

BILLABLE FEE PAYMENT AGREEMENT

I/WE agree to pay all the costs associated with processing this application petition. Payment is due within 10 days of receipt of an invoice, and all processing of the petition will stop if payments are not made within 10 days.

Name(s): Joseph Holt


Billing Address: 675 Ponce de Leon Avenue NE, Suite 8500 Atlanta, GA 30308

Contact Number: 334-319-14965

Contact E-mail: joseph@amplecapital.com

I understand and agree to the conditions outlined in this agreement, and certify that all the information provided is correct.

Signature: 

Witness: 

Print Name: Joseph Holt

Print Name: Rob Chubbney

Date: 5/23/23

Date: 5/23/2023

Applicants are billed for Legal Advertisement costs and actual postage costs for Adjacent Property Owner notifications. Fees will vary based on size of advertisement selected by the local newspaper, and amount of property owners to be notified.

To be filled out by Planning Staff
Petition Number: _____

Pocatella Avenue Mixed-Use — Project Narrative

The subject property is an 11.7 +/- acre parcel located at 4951 Pocatella Ave, east of Sumter Blvd. The Future Land Use Designation of the property is Professional Office/Institutional and the Zoning Designation is Office/Professional/Institutional (OPI). The proposed Special Exception is for a Mixed-Use development containing 10,000 square feet of office buildings and a 175-unit Class-A multi-family residential community. Monument signage is located at the entrance drive on the southern boundary of the property near McKibben Dr. A proposed 5' sidewalk is provided to connect to the existing sidewalk network in the immediate vicinity. Access to the community will be provided from Pocatella Ave and McKibben Drive and utility capacity is available to serve the site. A Type "C" landscape buffer is provided around the boundary of the property.

The proposed Special Exception is consistent with all applicable elements of the Comprehensive Plan and specifically advances Housing Policy Goals 1.5 and 6.1 by providing additional housing stock to meet population growth and overall housing demand, and through its close proximity to the SCAT transit system. Additionally, the Mixed-Use development helps diversify North Port's tax base by including 10,000 square feet of office space.

Further, the proposed Special Exception is consistent with all applicable elements of the Unified Land Development Code and consistent with the required findings for Special Exception approval as evaluated below.

The applicant has acknowledged and addressed all Pre-Application comments specific to the Special Exception made by each department. Additionally, the applicant has met and responded to all Findings in ULDC Section 53-259 Items A-P. Any and all comments pertaining to DMP or MAS will be acknowledged and addressed at the appropriate time during the application, planning, and approval process.

Sec. 53-259. Findings.

Planning and Zoning Advisory Board and City Commission action. Before any special exception shall be approved, the Planning and Zoning Advisory Board and City Commission shall determine that:

- (a) The proposed use shall be consistent with the intent, goals, objectives, policies and programs of the City of North Port Comprehensive Plan and the intent of the zoning district as defined in this Unified Land Development Code for the area in which the property is located.

The proposed use is consistent with the City's Comprehensive Plan and the intent of the zoning district as defined in the Unified Land development Code.

- (b) The density or intensity of the proposed use shall be consistent with the intended future use of the designated land use area in which the property is located, in accordance with the provisions of the Future Land Use Plan Map contained in the Comprehensive Plan.

The proposed development with a density of 15 dwelling units per acre is consistent with the provisions for Office, Professional Institutional designated properties contained in the Comprehensive Plan.

- (c) The proposed use, singularly or in combination with other previously approved special exceptions, must not be detrimental to the health, safety, welfare, morals, order, comfort, convenience, appearance or prosperity of the neighborhood or adjacent uses; and shall be an economic benefit to the economy of the City. [Amended 11-24-2003 by Ord. No. 2002-56]

The proposed use will not be detrimental to health safety, welfare, morals, comfort and convenience, appearance or prosperity of the neighborhood or adjacent uses.

- (d) The intensity of the proposed use shall be harmonious with the character of other uses in the neighborhood.

The proposed development is consistent and harmonious with the adjacent residential uses in the neighborhood.

- (e) The height and orientation of any proposed structure(s) shall be compatible with existing neighboring structures and uses.

The proposed building heights, with extensive building setbacks and taller buildings located centrally on the site is compatible with existing neighboring structures.

- (f) The subject parcel shall be adequate in shape and size to accommodate the proposed use and provide for appropriate separation between neighboring uses

The subject parcel is adequate in shape and size to accommodate the proposed development.

- (g) The proposed use shall be adequately screened and buffered to effectively separate traffic, light and noise from existing or intended nearby uses.

The proposed development use is adequately screened and buffered to effectively separate traffic, light and noise from existing or intended nearby uses.

- (h) The loading and/or refuse areas shall not impose negative visual, odor or noise impacts on abutting uses or thoroughfares.

Refuse areas have been located to prevent negative visual, odor or noise impacts on abutting thoroughfares.

- (i) The size and location of proposed sign(s) shall be in compliance with Chapter 29, Sign Regulations of these regulations, and shall be compatible with the character of the existing neighboring uses.

The proposed signs will be in compliance with all requirements of Chapter 29, Sign Regulations.

- (j) Exterior lighting shall be harmonious with the character of existing neighboring uses, in terms of glare, and required foot candles.

The proposed lighting is harmonious with the character of neighboring uses.

- (k) The ingress and egress to the subject parcel and any structure involved shall not adversely affect traffic flow, safety or control.

The proposed ingress and egress to the subject parcel will not adversely affect traffic flow, safety or control.

- (l) The access and internal circulation shall be adequate in case of fire or emergency.

The proposed access and internal circulation are adequate in case of fire or emergency.

- (m) The proposed use shall not adversely affect traffic flow, safety or control on the surrounding roadway system.

The proposed use will not adversely affect traffic flow, safety or control on the surrounding roadway system

- (n) The location, type, and availability of proposed potable water systems shall be adequate for the proposed use and shall not adversely affect neighboring potable water systems

Potable water is available to the site and is adequate for the proposed use and without effect on neighboring potable water systems.

- (o) The location, type, and availability of proposed wastewater systems shall be adequate for the proposed use and compatible with drainage conditions in the area and neighboring uses

Wastewater is available to the site and is adequate for the proposed use and compatible with the drainage conditions in the area.

- (p) The proposed use shall not cause or intensify flooding of neighboring uses

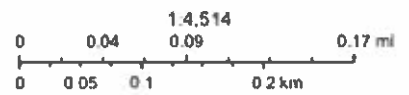
The proposed use will not cause or intensify flooding of neighboring uses.

Exhibit C - Application
Sarasota County Property Appraiser



5/23/2023, 1:44:55 PM

-  Parcels
-  Parcels 2023



UNIT CALCULATIONS

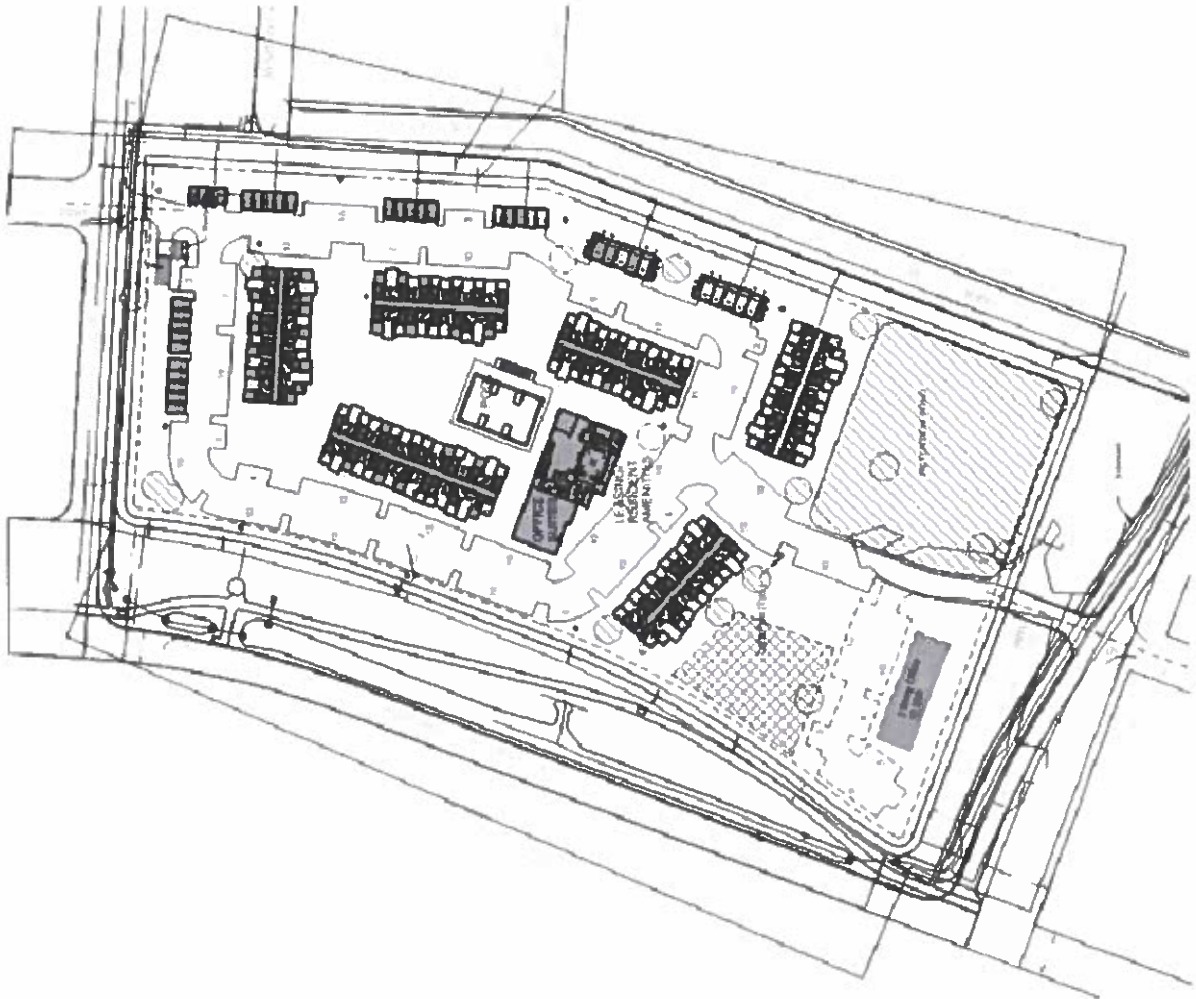
UNIT TYPE	MARKET NET	BUILDING TYPE I	BUILDING TYPE II	CARRIAGE HOUSE (G3)	TOTAL
A2	671 SF	30	-	-	30
A3	748 SF	-	-	-	-
A4	872 SF	-	-	2	2
A5	736 SF	6	30	-	36
A6	759 SF	9	-	-	9
A7	773 SF	-	-	-	-
B3	1,079 SF	9	30	-	39
B4	1,147 SF	9	30	-	39
B5	1,327 SF	-	-	2	2
T1	1,587 SF	-	-	-	-
C2	1,363 SF	3	15	-	18
T2	1,909 SF	-	-	-	-
TOTAL		36	135	4	175

UNIT TYPE	QUANTITY	UNIT TYPES	PARKING RECD. (A/H)	PARKING PREFERRED	PARKING RECD.
1-BEDROOM	77	44%	-	1 / UNIT	77
2-BEDROOM	80	46%	-	2 / UNIT	160
3-BEDROOM	18	10%	-	3 / UNIT	54
TOTAL	175	100%	282 SPACES		291 SPACES

CITY OF NORTHPORT LDC REQUIRED PARKING - 1.5 for each dwelling unit, plus 2 for owner or manager, plus 1 for every 10 dwelling units to accommodate guests (Total required parking = 282)

PARKING CALCULATIONS

TYPE	QUANTITY
GARAGE, CARRIAGE HOUSES	35
SURFACE, HC PARKING	265
TOTAL	307



PREPARED BY/RETURN TO:
MELLOR & GRISSINGER
13801 - D Tamiami Trail
North Port, FL 34287
Tel: (941) 426-1193

Recording: \$10.00
Revenue Stamps: \$2,555.00

RECORDED IN OFFICIAL RECORDS
INSTRUMENT # 2015078119 1 PG(S)
June 25, 2015 09:32:53 AM
KAREN E. RUSHING
CLERK OF THE CIRCUIT COURT
SARASOTA COUNTY, FL

Doc Stamp-Deed: \$2,555.00



SPECIAL WARRANTY DEED

THIS INDENTURE, Made this 6th day of June 2015, between **NORTH PORT RETIREMENT CENTER, INC.**, Grantor, whose post office address is 4950 Pocatella Avenue, North Port, FL 34287 and **ZIA BUTT**, a married man, Grantee, whose post office address is 4950 Pocatella Avenue, North Port, FL 34287.

WITNESSETH, That said Grantor, for and in consideration of the sum of Ten Dollars and 00/100 (\$10.00) and other good and valuable consideration to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee, and Grantee heirs and assigns forever, the following described land situate, lying and being in Sarasota County, Florida to wit:

Tract D, 1st REPLAT OF 40th ADDITION TO PORT CHARLOTTE SUBDIVISION, a subdivision according to the plat thereof, recorded in Plat Book 26, Page 33, of the Public Records of Sarasota County, Florida. Property ID No.: 1001160001.

THIS INSTRUMENT has been prepared without benefit of title examination or opinion at the request of the parties hereto.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

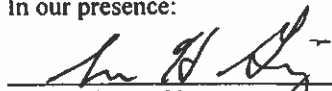
To Have and to Hold, the same in fee simple forever.

And the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 2014.

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first written above.

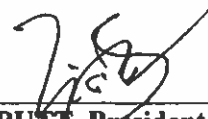
Signed, sealed and delivered
In our presence:

NORTH PORT RETIREMENT CENTER, INC.




First Witness Signature
Susan H. Grissinger

Print Name of First Witness



By: **ZIA BUTT, President**



Second Witness Signature
Douglas W. Grissinger

Print Name of Second Witness

STATE OF FLORIDA
COUNTY OF SARASOTA

The foregoing instrument was acknowledged before me this 6th day of June, 2015, by **ZIA BUTT**, as President of North Port Retirement Center, Inc, who is personally known to me, or, who produced _____ as identification.

My Commission Expires:



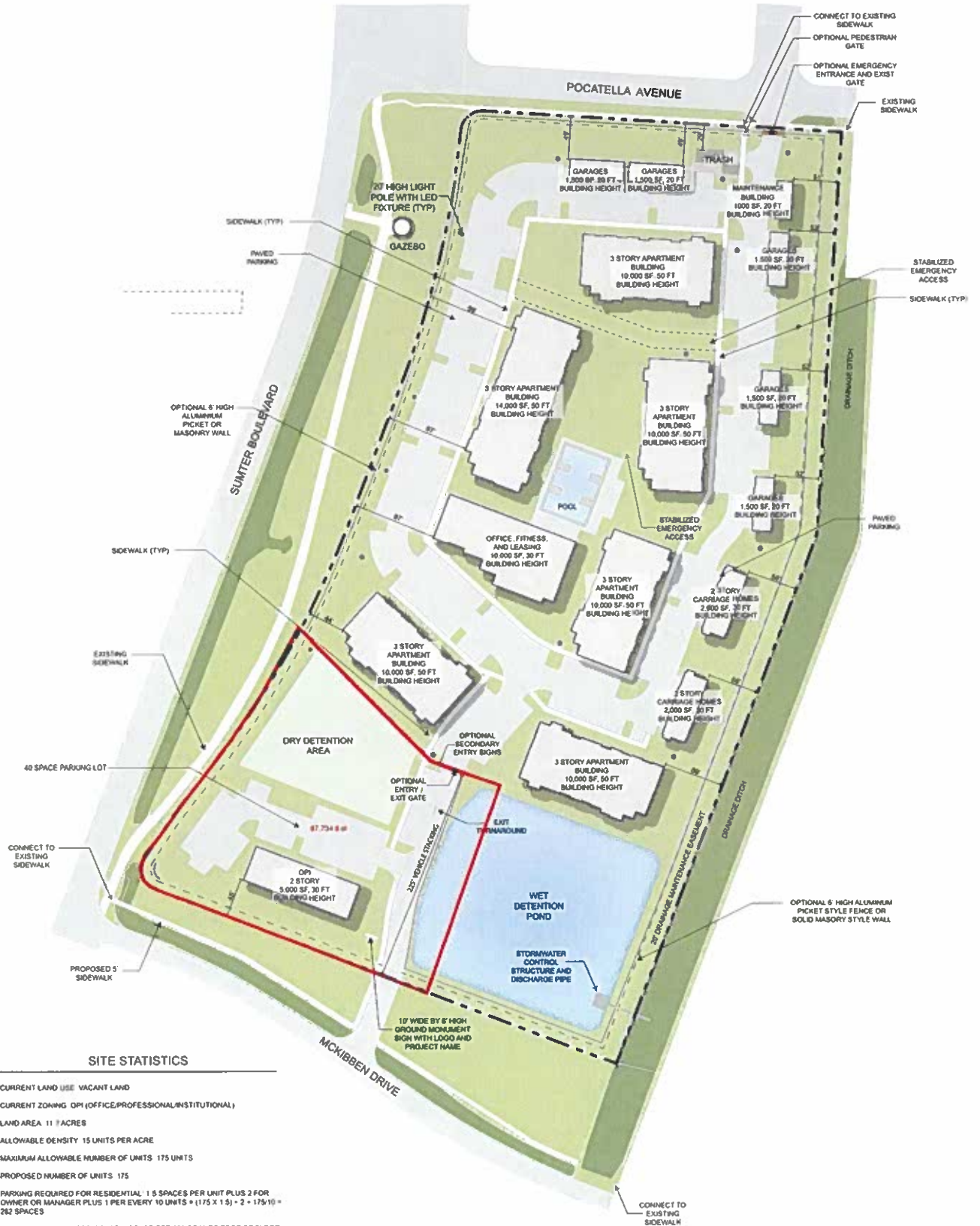
DOUGLAS W. GRISSINGER
MY COMMISSION # EE 843055
EXPIRES: 06/11, 2016
*ed Thru Budgetary Services

Sign 

NOTARY PUBLIC

Exhibit E

Not Applicable



SITE STATISTICS

CURRENT LAND USE VACANT LAND
 CURRENT ZONING OPI (OFFICE/PROFESSIONAL/INSTITUTIONAL)
 LAND AREA 11.7 ACRES
 ALLOWABLE DENSITY 15 UNITS PER ACRE
 MAXIMUM ALLOWABLE NUMBER OF UNITS 175 UNITS
 PROPOSED NUMBER OF UNITS 175
 PARKING REQUIRED FOR RESIDENTIAL 1.5 SPACES PER UNIT PLUS 2 FOR OWNER OR MANAGER PLUS 1 PER EVERY 10 UNITS = $(175 \times 1.5) + 2 + 175 \div 10 = 282$ SPACES
 PARKING REQUIRED FOR OFFICE 1 SPACE PER 250 SQUARE FOOT OF FLOOR AREA = $10,000 \text{ SF} \div 250 = 40$ SPACES
 PARKING PROVIDED 322 SPACES MINIMUM
 WATER AND SEWER CITY OF NORTH PORT CENTRAL WATER AND SEWER

PROPOSED AREA

BUILDING COVERAGE = 91,500 SQUARE FEET (18%)
 OTHER IMPERVIOUS = 155,000 SQUARE FEET (30%)
 TOTAL OPEN SPACE REQUIRED = 30%
 TOTAL OPEN SPACE = 283,150 SQUARE FEET (52%)

NOTES

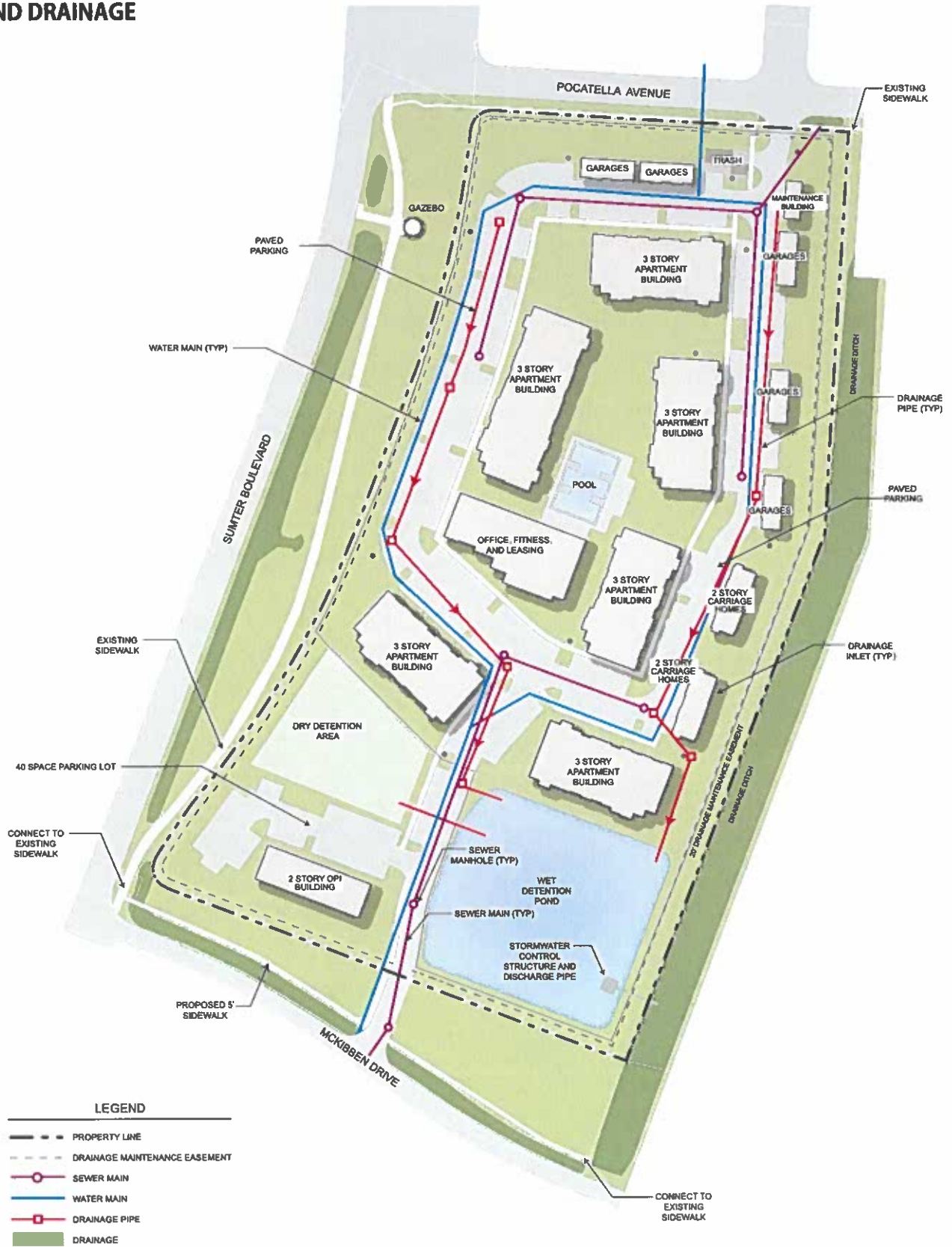
WATER AND LANDSCAPING SHALL MEET THE REQUIREMENTS PER CHAPTER 21 OF THE ULDC



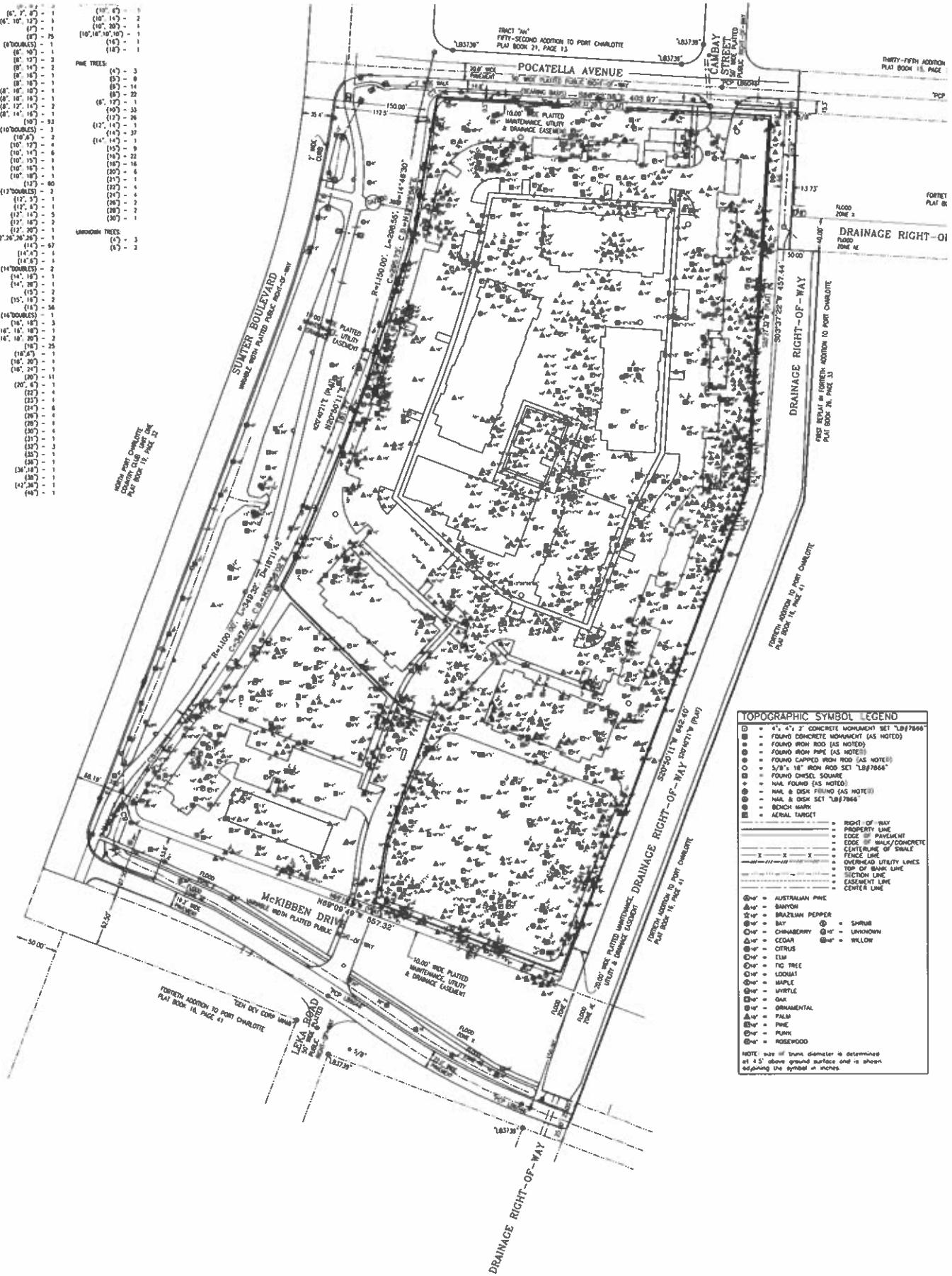
LEGEND

- PROPERTY LINE
- DRAINAGE MAINTENANCE EASEMENT
- FENCE
- DRAINAGE RIGHT-OF-WAY
- SITE LIGHT POLE
- SIDEWALK
- OPI DESIGNATED AREA

CONCEPTUAL UTILITY AND DRAINAGE



(8', 7' - 8)	(10', 7' - 8)	(10', 7' - 8)	(10', 7' - 8)
(8', 10' - 12)	(10', 10' - 12)	(10', 10' - 12)	(10', 10' - 12)
(8', 12' - 14)	(10', 12' - 14)	(10', 12' - 14)	(10', 12' - 14)
(8', 14' - 16)	(10', 14' - 16)	(10', 14' - 16)	(10', 14' - 16)
(8', 16' - 18)	(10', 16' - 18)	(10', 16' - 18)	(10', 16' - 18)
(8', 18' - 20)	(10', 18' - 20)	(10', 18' - 20)	(10', 18' - 20)
(8', 20' - 22)	(10', 20' - 22)	(10', 20' - 22)	(10', 20' - 22)
(8', 22' - 24)	(10', 22' - 24)	(10', 22' - 24)	(10', 22' - 24)
(8', 24' - 26)	(10', 24' - 26)	(10', 24' - 26)	(10', 24' - 26)
(8', 26' - 28)	(10', 26' - 28)	(10', 26' - 28)	(10', 26' - 28)
(8', 28' - 30)	(10', 28' - 30)	(10', 28' - 30)	(10', 28' - 30)
(8', 30' - 32)	(10', 30' - 32)	(10', 30' - 32)	(10', 30' - 32)
(8', 32' - 34)	(10', 32' - 34)	(10', 32' - 34)	(10', 32' - 34)
(8', 34' - 36)	(10', 34' - 36)	(10', 34' - 36)	(10', 34' - 36)
(8', 36' - 38)	(10', 36' - 38)	(10', 36' - 38)	(10', 36' - 38)
(8', 38' - 40)	(10', 38' - 40)	(10', 38' - 40)	(10', 38' - 40)
(8', 40' - 42)	(10', 40' - 42)	(10', 40' - 42)	(10', 40' - 42)
(8', 42' - 44)	(10', 42' - 44)	(10', 42' - 44)	(10', 42' - 44)
(8', 44' - 46)	(10', 44' - 46)	(10', 44' - 46)	(10', 44' - 46)
(8', 46' - 48)	(10', 46' - 48)	(10', 46' - 48)	(10', 46' - 48)
(8', 48' - 50)	(10', 48' - 50)	(10', 48' - 50)	(10', 48' - 50)
(8', 50' - 52)	(10', 50' - 52)	(10', 50' - 52)	(10', 50' - 52)
(8', 52' - 54)	(10', 52' - 54)	(10', 52' - 54)	(10', 52' - 54)
(8', 54' - 56)	(10', 54' - 56)	(10', 54' - 56)	(10', 54' - 56)
(8', 56' - 58)	(10', 56' - 58)	(10', 56' - 58)	(10', 56' - 58)
(8', 58' - 60)	(10', 58' - 60)	(10', 58' - 60)	(10', 58' - 60)
(8', 60' - 62)	(10', 60' - 62)	(10', 60' - 62)	(10', 60' - 62)
(8', 62' - 64)	(10', 62' - 64)	(10', 62' - 64)	(10', 62' - 64)
(8', 64' - 66)	(10', 64' - 66)	(10', 64' - 66)	(10', 64' - 66)
(8', 66' - 68)	(10', 66' - 68)	(10', 66' - 68)	(10', 66' - 68)
(8', 68' - 70)	(10', 68' - 70)	(10', 68' - 70)	(10', 68' - 70)
(8', 70' - 72)	(10', 70' - 72)	(10', 70' - 72)	(10', 70' - 72)
(8', 72' - 74)	(10', 72' - 74)	(10', 72' - 74)	(10', 72' - 74)
(8', 74' - 76)	(10', 74' - 76)	(10', 74' - 76)	(10', 74' - 76)
(8', 76' - 78)	(10', 76' - 78)	(10', 76' - 78)	(10', 76' - 78)
(8', 78' - 80)	(10', 78' - 80)	(10', 78' - 80)	(10', 78' - 80)
(8', 80' - 82)	(10', 80' - 82)	(10', 80' - 82)	(10', 80' - 82)
(8', 82' - 84)	(10', 82' - 84)	(10', 82' - 84)	(10', 82' - 84)
(8', 84' - 86)	(10', 84' - 86)	(10', 84' - 86)	(10', 84' - 86)
(8', 86' - 88)	(10', 86' - 88)	(10', 86' - 88)	(10', 86' - 88)
(8', 88' - 90)	(10', 88' - 90)	(10', 88' - 90)	(10', 88' - 90)
(8', 90' - 92)	(10', 90' - 92)	(10', 90' - 92)	(10', 90' - 92)
(8', 92' - 94)	(10', 92' - 94)	(10', 92' - 94)	(10', 92' - 94)
(8', 94' - 96)	(10', 94' - 96)	(10', 94' - 96)	(10', 94' - 96)
(8', 96' - 98)	(10', 96' - 98)	(10', 96' - 98)	(10', 96' - 98)
(8', 98' - 100)	(10', 98' - 100)	(10', 98' - 100)	(10', 98' - 100)



TOPOGRAPHIC SYMBOL LEGEND

⊠	4" x 4" x 2" CONCRETE MONUMENT SET "LBJ7866"
⊡	FOUND CONCRETE MONUMENT (AS NOTED)
⊢	FOUND IRON ROD (AS NOTED)
⊣	FOUND IRON PIPE (AS NOTE)
⊤	FOUND CAPPED IRON ROD (AS NOTE)
⊥	5/8" x 18" IRON ROD SET "LBJ7866"
⊦	FOUND CHISEL SQUARE
⊧	NAIL FOUND (AS NOTED)
⊨	NAIL & DISK FILING (AS NOTE)
⊩	NAIL & DISK SET "LBJ7866"
⊪	BENCH MARK
⊫	AERIAL TARGET
—	RIGHT OF WAY
—	PROPERTY LINE
—	EDGE OF PAVEMENT
—	EDGE OF WALK/CONCRETE
—	CENTERLINE OF SWALE
—	FENCE LINE
—	OVERHEAD UTILITY LINES
—	TOP OF BANK LINE
—	SECTION LINE
—	CASHEMENT LINE
—	CENTER LINE

⊙	AUSTRALIAN PINE	⊙	SHRUB
⊙	BANYAN	⊙	UNKNOWN
⊙	BRAZILIAN PEPPER	⊙	WILLOW
⊙	BAY		
⊙	CHAMPAGNE		
⊙	CEGAR		
⊙	CITRUS		
⊙	ELM		
⊙	FIG TREE		
⊙	LODGEPOLE		
⊙	MAPLE		
⊙	MIRTLE		
⊙	OAK		
⊙	ORNAMENTAL		
⊙	PALM		
⊙	PINE		
⊙	PLUM		
⊙	ROSEWOOD		

NOTE: size of trunk diameter is determined at 4.5' above ground surface and is shown adjoining the symbol in inches.



Sarasota County Tax Collector

generated on 3/15/2023 10:51:12 AM EDT

Tax Record

Last Update: 3/15/2023 10:51:11 AM EDT

Register for eBill

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number 1001160001	Type Tax REAL ESTATE	Tax Year 2022				
<table style="width: 100%; border: none;"> <tr> <td style="width: 40%;">Mailing Address BUTT ZIA 4950 POCATELLA AVE NORTH PORT FL 34287</td> <td style="width: 60%;">Property Address 4951 POCATELLA AVE 005</td> </tr> <tr> <td></td> <td>Old Account Number 1001-16-0001</td> </tr> </table>			Mailing Address BUTT ZIA 4950 POCATELLA AVE NORTH PORT FL 34287	Property Address 4951 POCATELLA AVE 005		Old Account Number 1001-16-0001
Mailing Address BUTT ZIA 4950 POCATELLA AVE NORTH PORT FL 34287	Property Address 4951 POCATELLA AVE 005					
	Old Account Number 1001-16-0001					
Base Exempt Amount see below	Taxable Value see below					
Exemption Detail NO EXEMPTIONS	Millage Code 0500	Escrow Code				
Legal Description 4951 POCATELLA AVE TRACT D CONTAINING 11.7 AC M/L FIRST REPLAT IN 40TH ADD TO PORT CHARLOTTE						
Ad Valorem Taxes						
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied	
Sarasota Co. General Revenue	3.2497	562,653	0	\$562,653	\$1,828.45	
Mosquito Control	0.0500	562,653	0	\$562,653	\$28.13	
Sarasota Co. Hospital Dist.	1.0420	562,653	0	\$562,653	\$586.28	
West Coast Inland Navigation	0.0394	562,653	0	\$562,653	\$22.17	
SW FL Water Management Dist.	0.2260	562,653	0	\$562,653	\$127.16	
Bonds-Debt Service	0.0915	562,653	0	\$562,653	\$51.48	
Sarasota Co. Legacy Trl	0.0551	562,653	0	\$562,653	\$31.00	
Sarasota School Board						
School Board - State	3.0240	766,600	0	\$766,600	\$2,318.20	
School Board - Local	3.2480	766,600	0	\$766,600	\$2,489.92	
City of North Port	3.7667	562,653	0	\$562,653	\$2,119.35	
Total Millage		14.7924	Total Taxes		\$9,602.14	
Non-Ad Valorem Assessments						
Code	Levyng Authority	Amount				
F093	North Port Fire & Rescue	\$161.66				
R097	North Port Road & Drainage	\$1,354.99				
R197	North Port R&D Capital Improve	\$46.00				
Total Assessments					\$1,562.65	
Taxes & Assessments					\$11,164.79	
If Paid By					Amount Due	
					\$0.00	

Date Paid	Transaction	Receipt	Item	Amount Paid
-----------	-------------	---------	------	-------------

11/28/2022	PAYMENT	2009222.0004	2022	\$10,718.20
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Prior Year Taxes Due				
NO DELINQUENT TAXES				



December 28, 2021

Peter T. Van Buskirk
Kimley-Horn
1412 Jackson St, Suite 2
Fort Myers, FL 33901

Willingness to Serve Water, Sewer and eventually Reclaimed Water

RE: Property at PID 1001-16-0001

Dear Mr. Van Buskirk:

As requested, the City of North Port Utilities Department is submitting this letter to inform you of Service Availability for the above referenced property.

This project is within the City of North Port's "City" urban service boundary area and the City is willing to provide water, sanitary sewer and eventually reclaimed water capacity to the project. Currently, the City has capacity at its water treatment plant and sewage treatment plant to provide capacity for this project. The capacity will be made available at the time of payment for capacity, if applicable and may require contributions by the developer and/or the property owner. Although the City has capacity to serve this project, certain on-site and off-site utility improvements must be completed by the owner/developer and accepted by the City prior to water and wastewater service being available to this specific site.

The City does not guarantee or reserve capacity to any project unless the owner/developer enters into a Utility Agreement with the City, which may require approval by the City Commission or make full payment on capacity and connection fees if a developer's agreement is not required.

Before a building permit can be issued, an application for service, capacity fees and deposits will be required, and the builder must provide a plumbing plan, which is required on any non-residential structures to the City's Utility Department for calculation of appropriate capacity fees and meter size. The City will not release a building permit until the required fees have been paid.

Our staff looks forward to working with you in the future to further develop plans for your utility needs. If you have any questions or require additional information, please do not hesitate to contact our office.

Sincerely,
NORTH PORT UTILITIES

Michelle Tipp

Michelle Tipp
Utilities Business Manager

CC: Jennifer Desrosiers, Assistant Utilities Director
Michael Acosta, Engineering Division Manager
Darrell Smith, Utilities Construction Supervisor



Achieve Anything

www.cityofnorthport.com

North Port Utilities: 941.240.8000, 6644 W. Price Boulevard, North Port, FL 34291-4106



May 31, 2023

Mr. Anthony Friedman, P.E.
City of North Port
Engineering Department
1100 North Chamberlain Boulevard
North Port, Florida 34286

**RE: *Pocatella Avenue Mixed-Use Site
Traffic Impact Statement
City of North Port, Florida***

Dear Mr. Friedman:

This Traffic Impact Statement (TIS) has been prepared to document the anticipated impacts of project traffic from the proposed Pocatella Avenue Mixed-Use Site located east of South Sumter Boulevard between Pocatella Avenue and McKibben Drive in the City of North Port, Florida. The project location map is illustrated in **Figure 1**.

The development site is expected to consist of 175 multi-family units and 10,000 square feet (SF) of general office building with an estimated buildout year of 2025. The site is currently vacant/undeveloped. As shown in the conceptual site plan, as provided in **Appendix A**, the development will have the following proposed access connections:

- One (1) full-access driveway onto Pocatella Avenue (on north side of site); and
- One (1) full-access driveway onto McKibben Drive (on south side of site).

As previously discussed with City staff at the pre-application meeting, this TIS will primarily focus on a turn lane evaluation at the two (2) unsignalized study intersections along South Sumter Boulevard adjacent to the development site: at Pocatella Avenue and at McKibben Drive. This evaluation reviewed the potential for left-turn and right-turn lane improvements on South Sumter Boulevard at the two (2) study intersections through project buildout. The procedures and findings of this TIS are provided in the following sections.

Trip Generation

The trip generation potential for the proposed development for different time periods was calculated based upon information contained in the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11th Edition*, for land use code (LUC) 220 (Multifamily Housing - Low Rise) and LUC 710 (General Office Building). Based upon the potential interaction between the residential and office components, internal capture was considered in the analysis and discussed in further detail below. Please note that pass-by capture was not considered since the development will not include retail uses which are typically the primary contributor of pass-by capture potential.



Project Location Map



Expect More. Experience Better.

© 2023 Kimley-Horn and Associates, Inc.
 201 North Franklin St.
 Suite 1400, Tampa FL 33604
 Phone: (813) 620 1460
 www.kimley-horn.com

POCATELLA AVENUE MIXED-USE SITE
CITY OF NORTH PORT, FLORIDA

Project No: 248037001

Scale: As Noted

May 2023

Figure 1

The internal capture potential for the site was determined using information found in the *ITE Trip Generation Handbook, 3rd Edition*, and the resulting worksheet is documented in **Appendix B**. As shown in the worksheet, the potential interaction between the two (2) proposed land uses is expected to be minimal (two percent) and was considered in the trip generation estimates to develop net, new trips.

The trip generation estimates for the a.m. and p.m. peak-hour periods are provided in **Table 1** and documented in **Appendix B**, along with the daily trip generation estimate. As shown in **Table 1**, the estimated net, new trips during the a.m. peak hour are expected to be 98 trips (37 inbound and 61 outbound). For the p.m. peak hour, the trip generation potential will be 119 net, new trips (63 inbound trips and 56 outbound).

Table 1: A.M. and P.M. Peak-Hour Trip Generation Potential

ITE TRIP GENERATION CHARACTERISTICS						DIRECTIONAL DISTRIBUTION		GROSS/NET NEW TRIPS		
Land Use	ITE Edition	ITE Code	Scale	ITE Units	Time Period	Percent		In	Out	Total
						In	Out			
Multifamily Housing (Low Rise)	11	220	175	DU	A.M. Peak Hour	24%	76%	18	59	77
General Office Building	11	710	10	KSF		88%	12%	20	3	23
<i>Internal Capture</i>								-1	-1	-2
<i>A.M. Peak-Hour Net, New Trips</i>								37	61	98
Multifamily Housing (Low Rise)	11	220	175	DU	P.M. Peak Hour	63%	37%	60	36	96
General Office Building	11	710	10	KSF		17%	83%	4	21	25
<i>Internal Capture</i>								-1	-1	-2
<i>P.M. Peak-Hour Net, New Trips</i>								63	56	119

The calculation of the trip generation potential for both peak hours was used to determine the highest turning movement volumes at the two (2) study intersections through project buildout as part of the turn lane analysis documented in a later section of this TIS.

Trip Distribution

New traffic expected to be generated by the proposed development was distributed and assigned to the adjacent roadway network based upon the results of a select zone analysis using the Florida Department of Transportation (FDOT) District 1 Regional Planning Model FSUTMS program. The results, which are provided in **Appendix C**, indicate that approximately 45 percent of the project trips will travel to/from areas north of the project site along South Sumter Boulevard and the remaining 55 percent of the project trips will travel to/from areas south of the project site along South Sumter Boulevard.

Additionally, due the layout of the development, it was estimated that a significant portion of the trips would likely enter/exit the nearest driveway to the direction the proposed trips for the development would be coming to/from. For example, for trips to/from the north, approximately 90 percent of these trips would likely utilize the northern driveway on Pocatella Avenue with the remaining trips using the southern driveway along McKibben Drive. This approach was also used for the trips to/from the south. The resulting percentages were applied to the trip generation estimates shown in **Table 1** to estimate project trips at the existing two (2) study intersections and the proposed project driveways. These distribution and assignment results were used for both peak hours.

The distribution of project traffic, in terms of trip percentages, is shown in **Figure 2** and specific assignment, in terms of number of trips, is provided in **Figure 3**, for both a.m. and p.m. peak hours at the two (2) study intersections and the two (2) proposed project driveways.

- Legend**
- Roadway
 - - - Project Access
 - Study Intersection
 - Project Intersection
 - XX% Entering Distribution
 - (XX%) Exiting Distribution



NOT TO SCALE

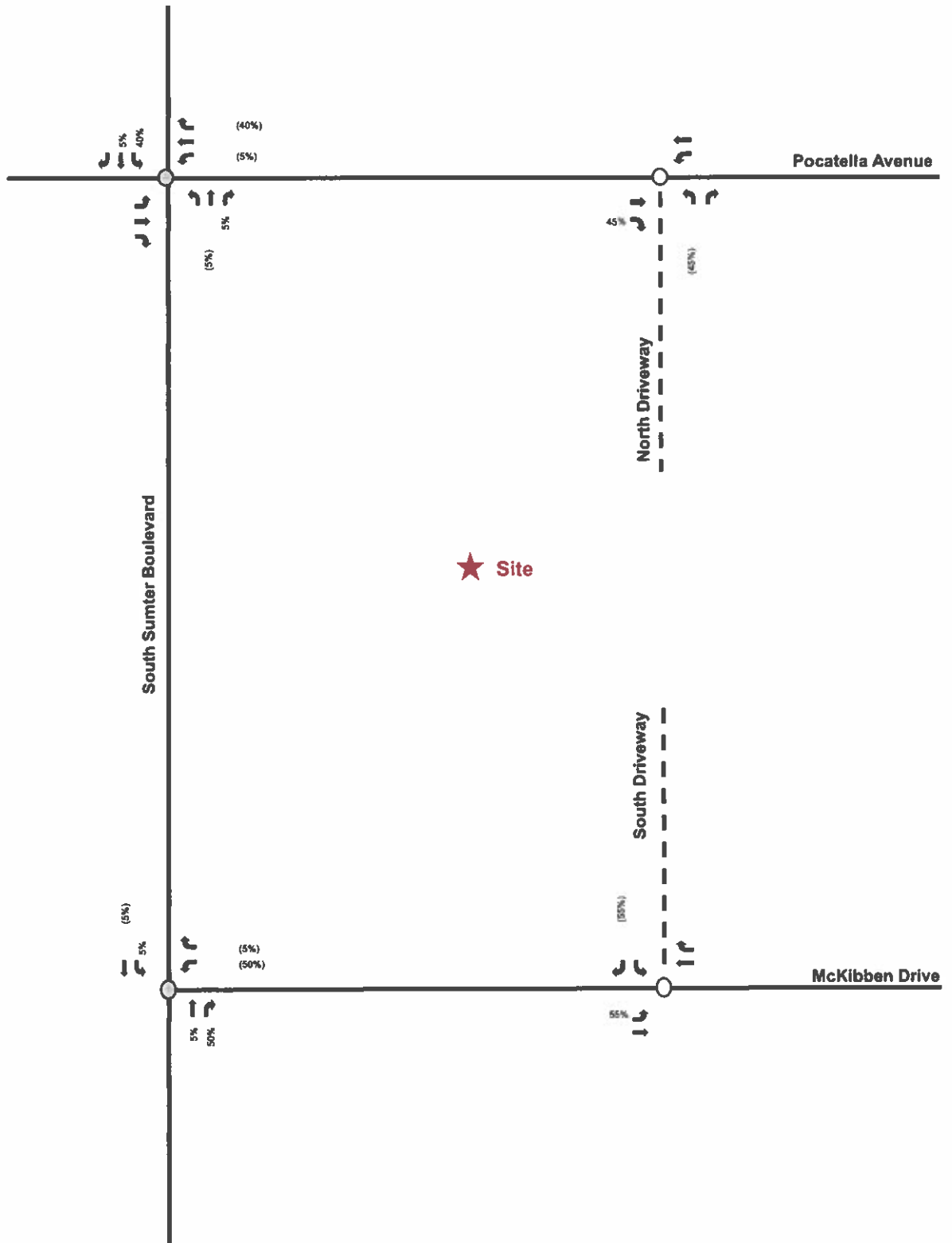


Figure 2
Project Trip Distribution
Pocatella Avenue Mixed-Use Project Site
City of North Port, Florida

Legend

- Roadway
- - - Project Access
- Study Intersection
- Project Intersection
- XX A.M. Peak-Hour Traffic Volumes
- (XX) P.M. Peak-Hour Traffic Volumes



NOT TO SCALE

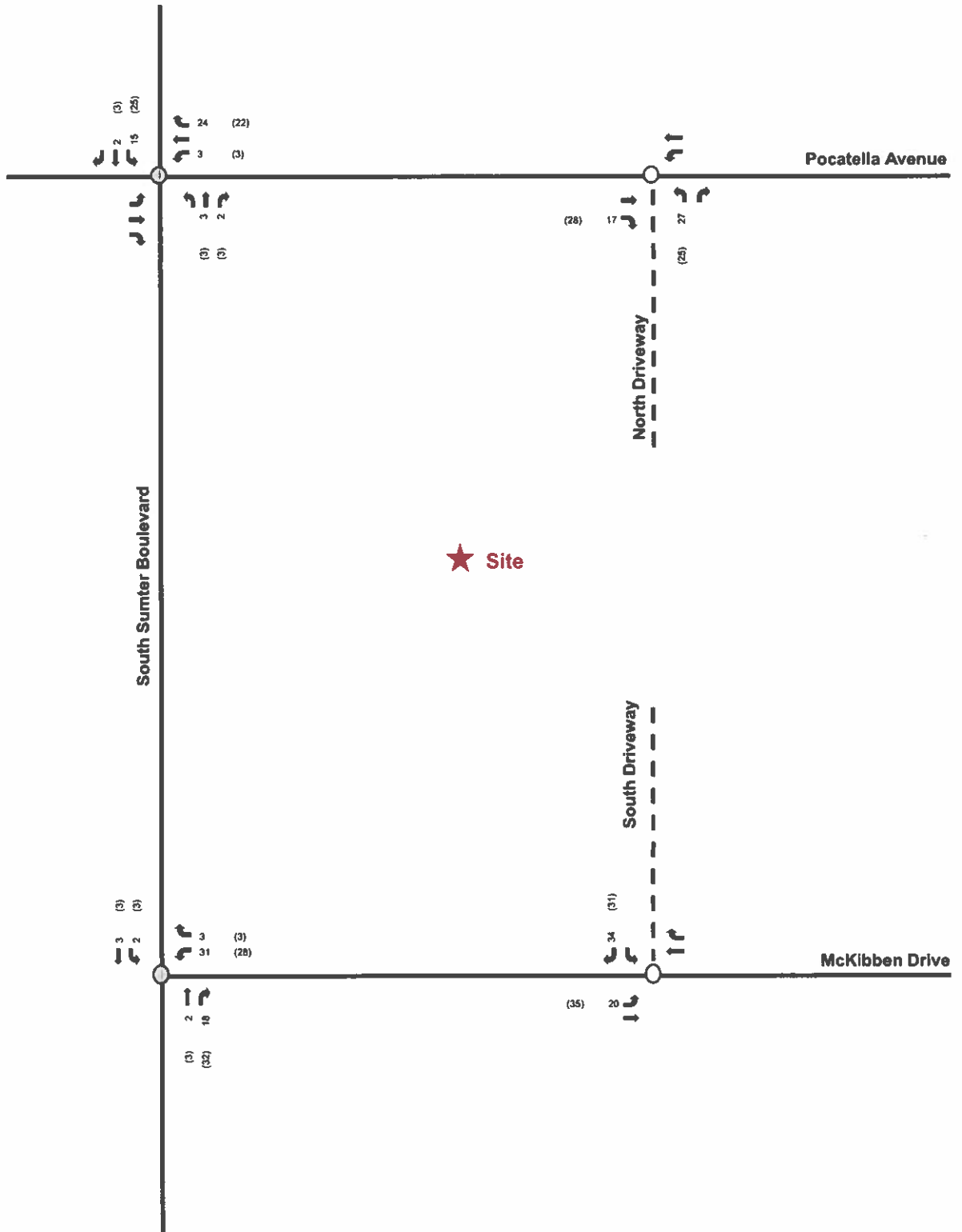


Figure 3
Peak-Hour Project Traffic Volumes
Pocatella Avenue Mixed-Use Project Site
City of North Port, Florida

Future Buildout Traffic Conditions

To determine future traffic conditions, existing traffic counts were first collected at the two (2) study intersections along South Sumter Boulevard: at Pocatella Avenue and at McKibben Drive. These counts, which were collected on May 23, 2023, provided turning movement volumes at these locations. The raw data collection turning movement counts are documented in **Appendix D**.

To provide for peak-season conditions, the traffic counts were adjusted using the FDOT's peak season conversion factor for Sarasota County (1.12) for the data collection time period. The adjustment factor used is documented in **Appendix D**. The resulting existing 2023 peak-season traffic volumes for both a.m. and p.m. peak hours are illustrated in **Figure 4**.

Since the project has an estimated buildout year of 2025, the existing traffic was adjusted by a growth rate to reflect project buildout year conditions. A review of FDOT AADT count stations in the area indicated an annual growth rate of approximately three (3) percent per year. Growth rate information is provided in **Appendix E**. Applying this growth rate to existing (2023) volumes produced future background (non-project) traffic volumes. The background volumes for both a.m. and p.m. peak hours are shown in **Figure 5**. Project volumes, as previously documented in this analysis, were then added to the background volumes to develop future 2025 total traffic volumes at the two (2) study intersections and at the two (2) project driveways. The future total traffic volumes for both peak hours at project buildout are illustrated in **Figure 6** and **Figure 7**.



NOT TO SCALE

Legend

- Roadway
- Study Intersection
- XX A.M. Peak-Hour Peak-Season Traffic Volumes
- (XX) P.M. Peak-Hour Peak-Season Traffic Volumes

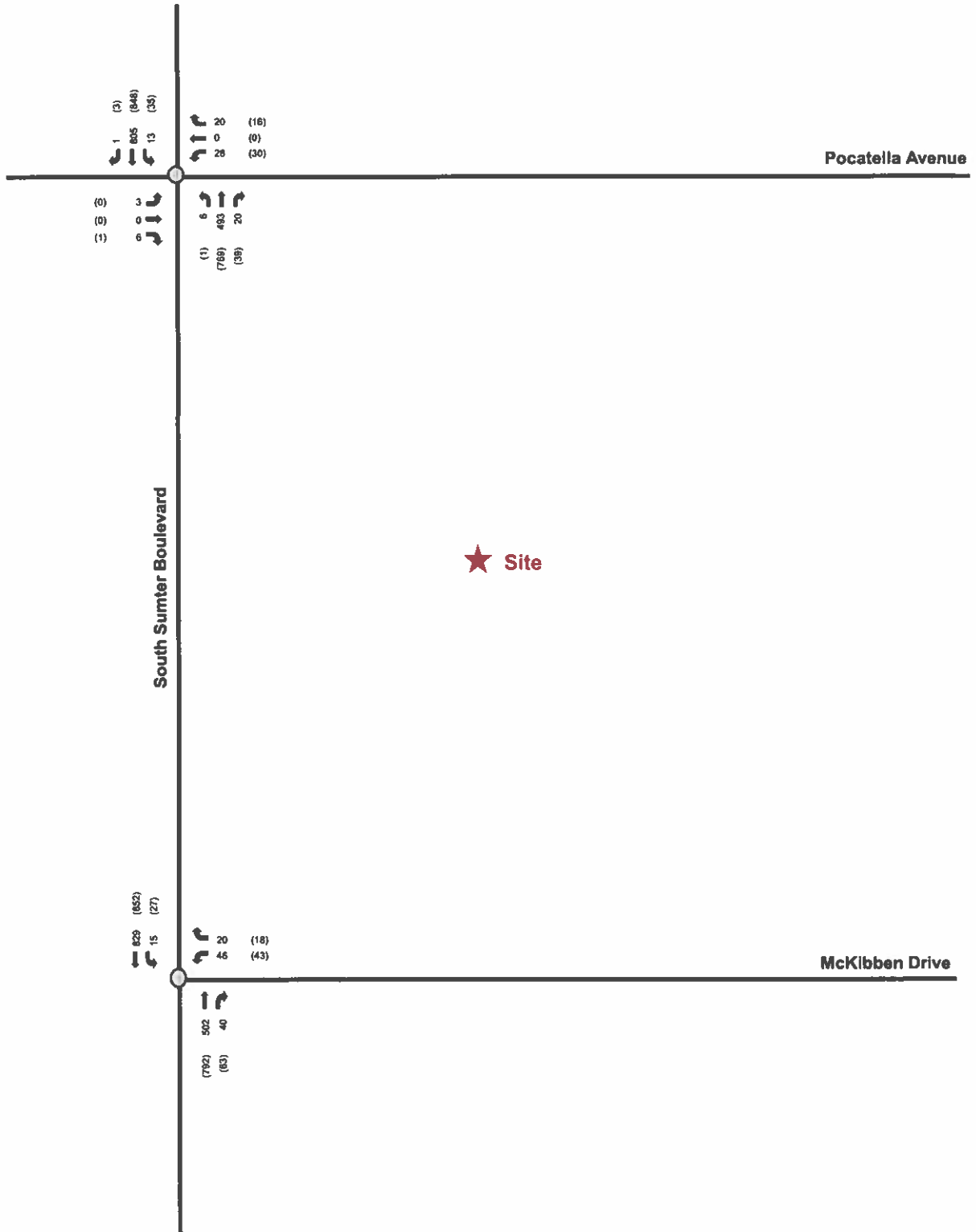


Figure 4
Existing Peak-Hour Peak-Season Traffic Volumes
Pocatella Avenue Mixed-Use Project Site
City of North Port, Florida

Legend

- Roadway
- Study Intersection
- XX A.M. Peak-Hour Traffic Volumes
- (XX) P.M. Peak-Hour Traffic Volumes



NOT TO SCALE

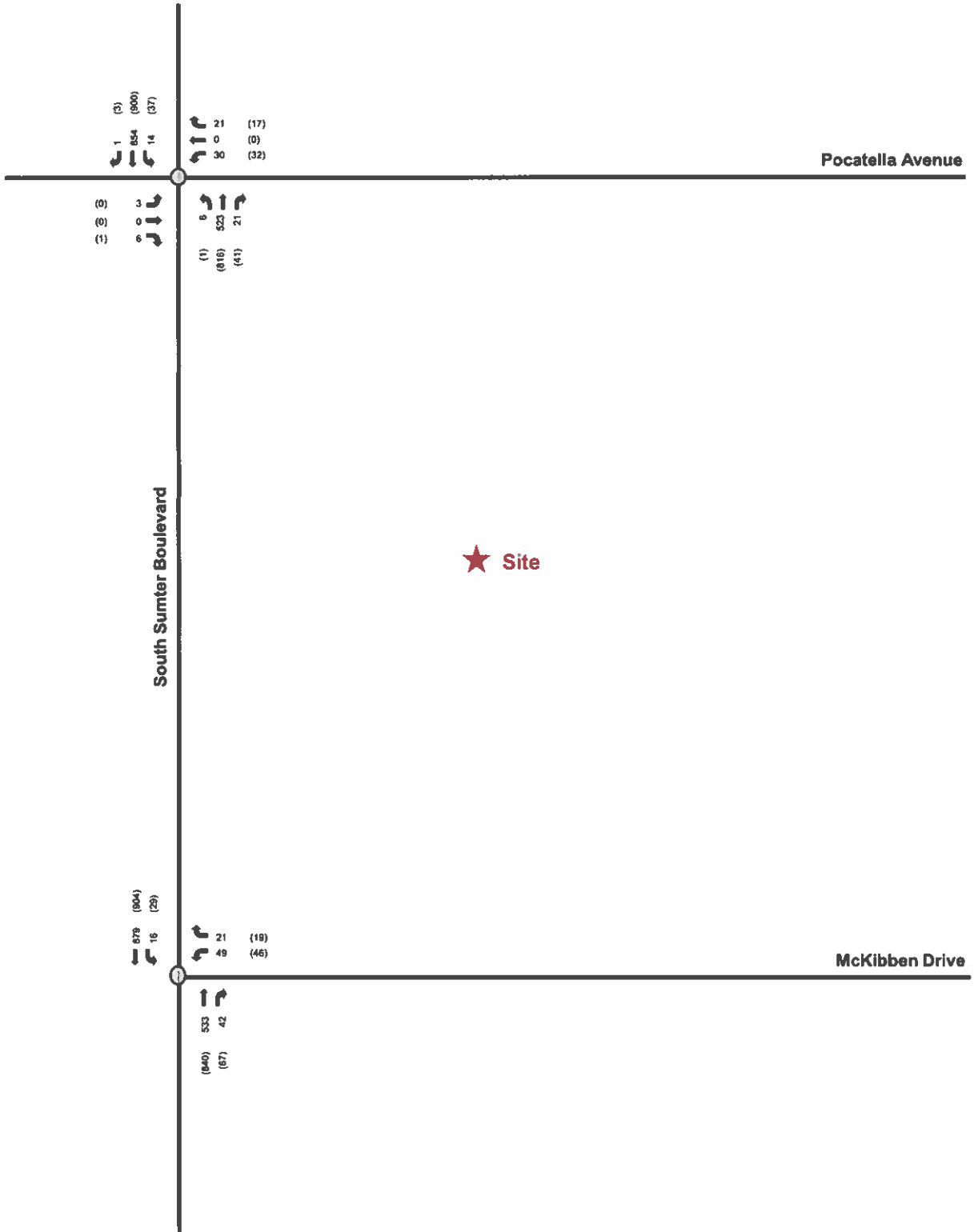


Figure 5
 Future Background Peak-Hour Traffic Volumes
 Pocatella Avenue Mixed-Use Project Site
 City of North Port, Florida

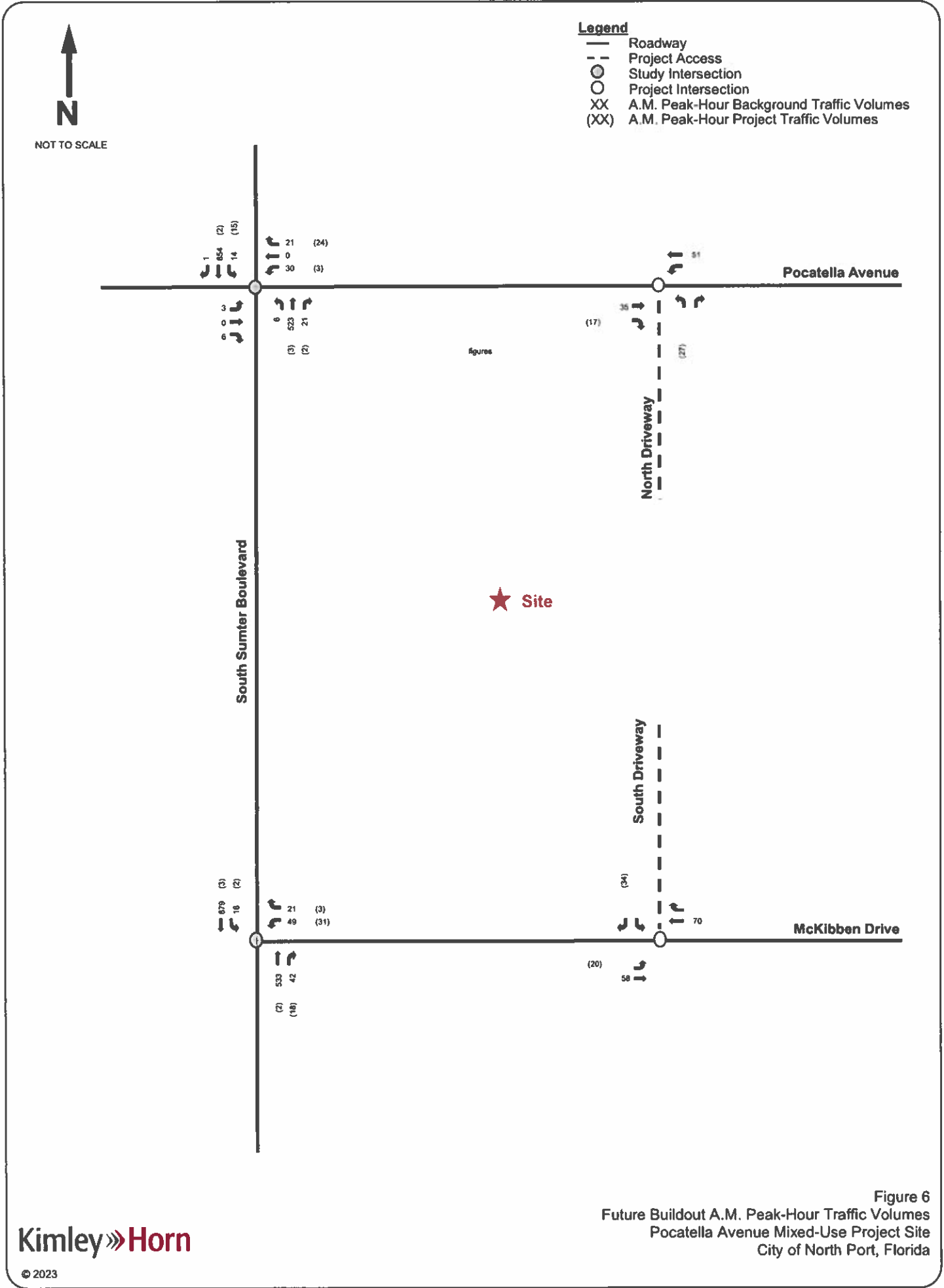


Figure 6
 Future Buildout A.M. Peak-Hour Traffic Volumes
 Pocatella Avenue Mixed-Use Project Site
 City of North Port, Florida

Legend

- Roadway
- - - Project Access
- Study Intersection
- Project Intersection
- XX P.M. Peak-Hour Background Traffic Volumes
- (XX) P.M. Peak-Hour Project Traffic Volumes



NOT TO SCALE

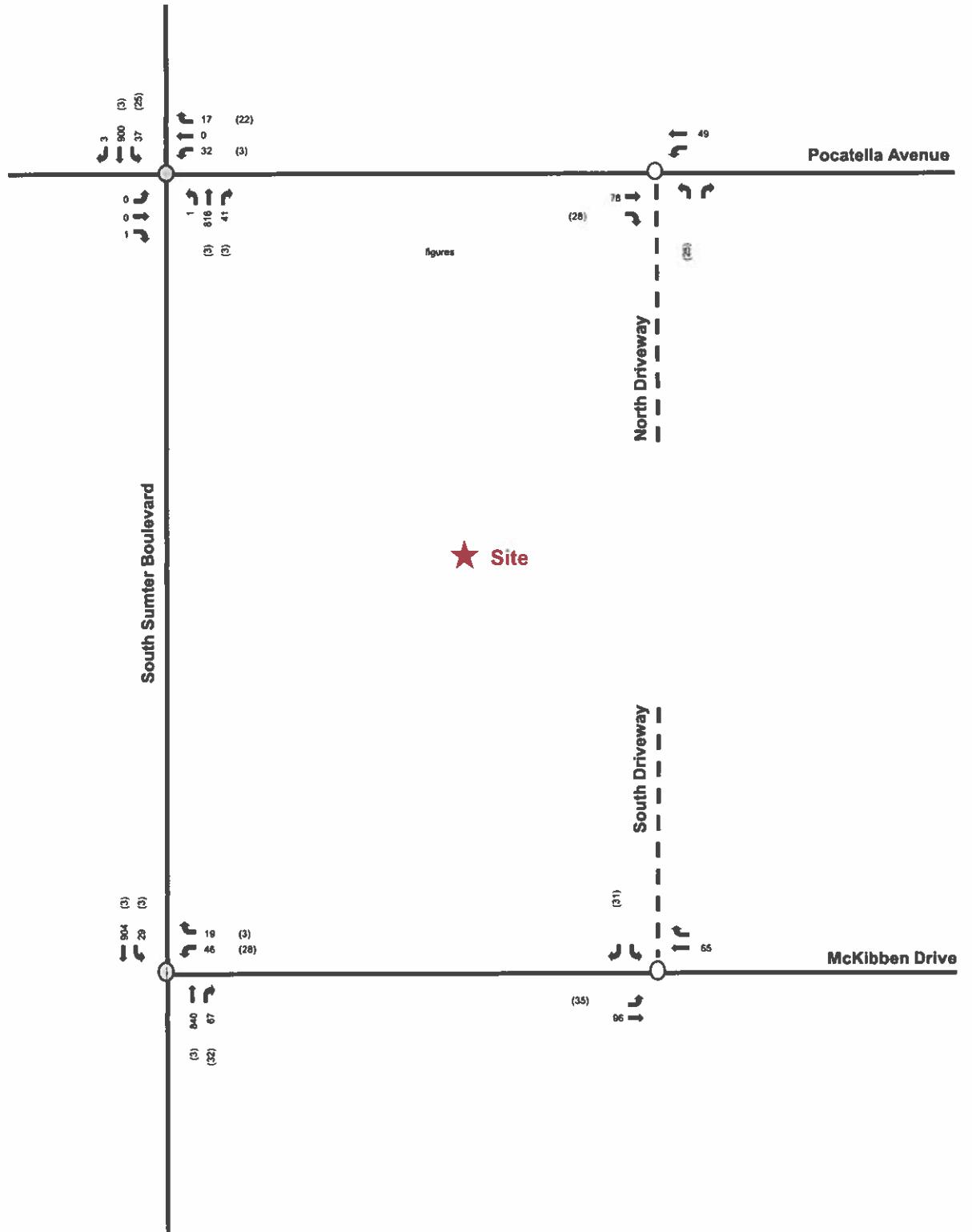


Figure 7
 Future Buildout P.M. Peak-Hour Traffic Volumes
 Pocatella Avenue Mixed-Use Project Site
 City of North Port, Florida

Turn Lane Analysis

Using the future total traffic volumes identified in **Figure 6** and **Figure 7**, a turn lane analysis was undertaken for the two (2) study intersections along South Sumter Boulevard adjacent to the project site: at Pocatella Avenue and at McKibben Drive. As previously stated, City staff requested an evaluation to determine if left-turn and/or right-turn lane improvements will be required to mitigate project impacts.

This analysis included the use of multiple resources, such as *Synchro, Version 11*, software program for left-turn queue lengths and FDOT's *Access Management Guidebook (November 2019)*, which represents the most recent and current criteria available to determine right-turn lane requirements at an intersection. The approach and findings for each intersection are documented below.

South Sumter Boulevard at Pocatella Avenue

At this intersection, the existing southbound left-turn lane was evaluated to determine if the existing length of this lane will be adequate to accommodate background traffic and project traffic through project buildout conditions. Using the highest volume estimated for this movement in either peak hour (a.m. or p.m.), the methodologies of the *Highway Capacity Manual, 6th Edition*, were utilized as part of the *Synchro* program to estimate the 95th percentile queue for the southbound left-turn lane. The results indicated that a maximum queue length of 25 feet is required. The deceleration length for this lane, which is based upon FDOT's *Florida Design Manual (FDM) Exhibit 212-1* and the current speed limit of 40 miles per hour (mph) along Sumter Boulevard (equivalent to a 45 mph design speed), indicated a length of 185 feet. Therefore, the total length needed is 210 feet. Since this turn lane is currently over 220 feet in length, the existing length is anticipated to accommodate future traffic and no turn lane improvement (i.e., turn lane extension) will be required. The results of this analysis are provided in **Appendix F**.

For the northbound right-turn movement, several analysis tiers were undertaken to appropriately determine if a right-turn lane is warranted at this location. An operational analysis using *Synchro, Version 11*, program was conducted at the intersection of South Sumter Boulevard & Pocatella Avenue. This analysis, as provided in **Appendix F**, indicated that the study intersection is expected to operate at acceptable conditions in both peak hours based upon existing lane geometry (i.e., no right-turn lane) and with a volume-to-capacity (v/c) ratio of less than 1.0 for each critical lane approach through project buildout.

Additionally, the right-turn lane warrant was reviewed using FDOT's *Access Management Guidebook (November 2019)*. Based upon the posted speed limit of 40 mph, the expected traffic volumes, and the 4-lane cross section along South Sumter Boulevard, it was determined that future traffic volumes for the northbound right-turn movement are not expected to exceed the volume threshold of 125 vehicles per hour in either peak hour. An excerpt of the appropriate page in this guidebook is included in **Appendix F**.

Based upon the above analyses, it was determined that a northbound right-turn lane is not warranted at this intersection. Therefore, no turn lane improvement is anticipated to be required for this movement.

South Sumter Boulevard at McKibben Drive

At this intersection, the existing southbound left-turn lane was evaluated to determine if the existing length of this lane will be adequate to accommodate background traffic and project traffic through project buildout conditions. Using the highest volume estimated for this movement in either peak hour, the methodologies of the *Highway Capacity Manual, 6th Edition*, were utilized as part of the *Synchro* program to estimate the 95th percentile queue for the southbound left-turn lane. The results indicated that a maximum queue length of 25 feet is required. The deceleration length for this lane, which is based upon FDOT's *FDM Exhibit 212-1* and the current speed limit of 40 mph along South Sumter Boulevard (equivalent to a 45 mph design speed), indicated a length of 185 feet. Therefore, the total length needed is 210 feet. Since this turn lane is currently over 210 feet in length, the existing length is anticipated to accommodate future traffic and no turn lane improvement (i.e., turn lane extension) will be required. The results of this analysis are provided in **Appendix F**.

For the northbound right-turn movement, the identical approach/evaluation was conducted as previously documented for the same right-turn movement at Pocatella Avenue. The operational analysis conducted in *Synchro, Version 11*, program, as provided in **Appendix F**, indicated that the study intersection is expected to operate at acceptable conditions in both peak hours based upon existing lane geometry (i.e., no right-turn lane) and with a v/c ratio of less than 1.0 for each critical lane approach through project buildout.

Additionally, the right-turn lane warrant was reviewed using FDOT's *Access Management Guidebook (November 2019)* and the results of this review indicated that future traffic volumes for the northbound right-turn movement are not expected to exceed the volume threshold of 125 vehicles per hour in either peak hour.

Based upon the above analyses, it was determined that a northbound right-turn lane is not warranted at this intersection. Therefore, no turn lane improvement is anticipated to be required for this movement.

Conclusion

This Traffic Impact Statement (TIS) was prepared to document the anticipated impacts of project traffic from the proposed Pocatella Avenue Mixed-Use Site located east of South Sumter Boulevard between Pocatella Avenue and McKibben Drive in the City of North Port, Florida. Specifically, this evaluation was conducted to determine if turn lane improvements (left-turn lane extensions and/or exclusive right-turn lanes) will be required at the study intersections.

Based upon the results of the turn lane analysis, it was determined that at both study intersections along South Sumter Boulevard, at Pocatella Avenue and at McKibben Drive, no turn lane improvements are anticipated to be required.

We hope that this analysis addresses the traffic-related issues regarding the project site. Upon your review of this analysis, please let us know if you have any questions or comments.

Sincerely,



Digitally signed
by Robert Agrusa
Date: 2023.05.31
10:29:46 -04'00'

Robert (Bob) Agrusa, P.E., PTOE
Senior Project Manager

Basit Ali, E.I.
Transportation Analyst

Attachments: Appendix A - Conceptual Site Plan
 Appendix B - Trip Generation Worksheets
 Appendix C - Regional Model Results
 Appendix D - Traffic Count Data
 Appendix E - Growth Rate Worksheets
 Appendix F - Turn Lane Analysis Worksheets (Including Synchro Results)

Copy: Peter Vanbuskirk, P.E., AICP



APPENDIX A – CONCEPTUAL SITE PLAN



APPENDIX B – TRIP GENERATION WORKSHEETS

TRIP GENERATION

DAILY PROJECT TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS				DIRECTIONAL DISTRIBUTION			NET NEW TRIPS			INTERNAL CAPTURE		NET NEW EXTERNAL TRIPS		
Land Use	ITE Edition	ITE Code	Scale	Percent		In	Out	Total	Percent	IC Trips	In	Out	Total	
				In	Out									
Multifamily Housing Low-Rise	11	220	175	50%	50%	599	599	1,198	0.0%	0	599	599	1,198	
General Office Building	11	710	10	50%	50%	78	78	156	0.0%	0	78	78	156	
Total:						677	677	1,354			677	677	1,354	

A.M. PEAK-HOUR PROJECT TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS				DIRECTIONAL DISTRIBUTION			NET NEW TRIPS			INTERNAL CAPTURE		NET NEW EXTERNAL TRIPS		
Land Use	ITE Edition	ITE Code	Scale	Percent		In	Out	Total	Percent	IC Trips	In	Out	Total	
				In	Out									
Multifamily Housing Low-Rise	11	220	175	24%	76%	18	59	77	1.3%	1	18	58	76	
General Office Building	11	710	10	88%	12%	20	3	23	4.3%	1	19	3	22	
Total:						38	62	100	2.0%	2	37	61	98	

P.M. PEAK-HOUR PROJECT TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS				DIRECTIONAL DISTRIBUTION			NET NEW TRIPS			INTERNAL CAPTURE		NET NEW EXTERNAL TRIPS		
Land Use	ITE Edition	ITE Code	Scale	Percent		In	Out	Total	Percent	IC Trips	In	Out	Total	
				In	Out									
Multifamily Housing Low-Rise	11	220	175	63%	37%	60	36	96	1.0%	1	60	35	95	
General Office Building	11	710	10	17%	83%	4	21	25	4.0%	1	3	21	24	
Total:						64	57	121	1.7%	2	63	56	119	

Internal Capture Reduction Calculations

Methodology for A.M. Peak Hour and P.M. Peak Hour
based on the *Trip Generation Handbook*, 3rd Edition, published by the Institute of Transportation Engineers

Methodology for Daily
based on the average of the Unconstrained Rates for the A.M. Peak Hour and P.M. Peak Hour

SUMMARY

GROSS TRIP GENERATION							
INPUT	Land Use	Daily		A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit	Enter	Exit
	Office			20	3	4	21
	Retail						
	Restaurant						
	Cinema/Entertainment						
	Residential			18	59	60	36
	Hotel						
		0	0	38	62	64	57

INTERNAL TRIPS							
OUTPUT	Land Use	Daily		A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit	Enter	Exit
	Office	0	0	1	0	1	0
	Retail	0	0	0	0	0	0
	Restaurant	0	0	0	0	0	0
	Cinema/Entertainment	0	0	0	0	0	0
	Residential	0	0	0	1	0	1
	Hotel	0	0	0	0	0	0
		0	0	1	1	1	1

OUTPUT	Total % Reduction	0.0%		2.0%		1.7%	
	Office			4.3%		4.0%	
	Retail						
	Restaurant						
	Cinema/Entertainment						
	Residential			1.3%		1.0%	
	Hotel						

EXTERNAL TRIPS							
OUTPUT	Land Use	Daily		A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit	Enter	Exit
	Office	0	0	19	3	3	21
	Retail	0	0	0	0	0	0
	Restaurant	0	0	0	0	0	0
	Cinema/Entertainment	0	0	0	0	0	0
	Residential	0	0	18	58	60	35
	Hotel	0	0	0	0	0	0
		0	0	37	61	63	56

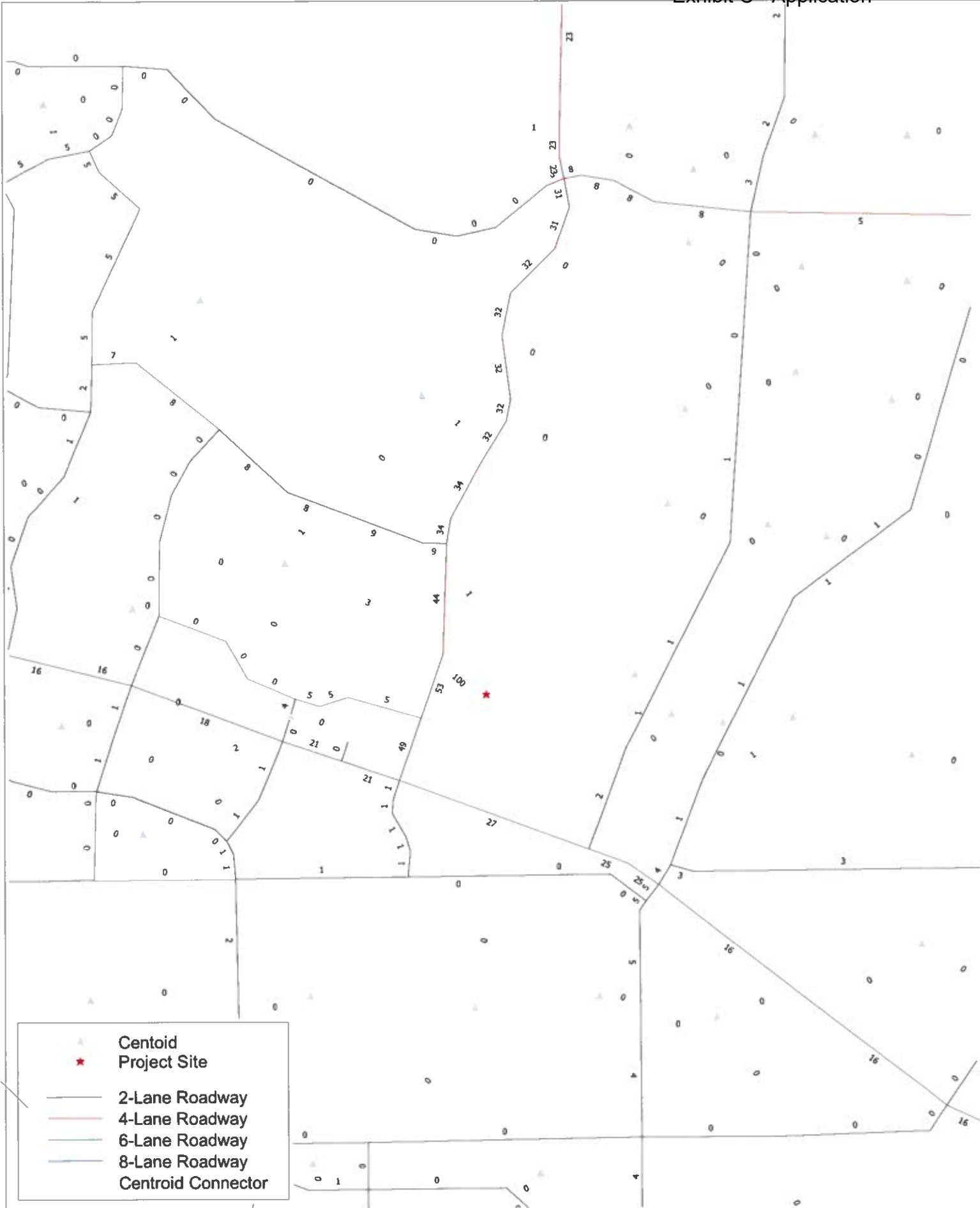
DAILY

A.M. PEAK HOUR

P.M. PEAK HOUR



APPENDIX C – REGIONAL MODEL RESULTS



- Centroid
- Project Site
- 2-Lane Roadway
- 4-Lane Roadway
- 6-Lane Roadway
- 8-Lane Roadway
- Centroid Connector

DISTRICT 1 REGIONAL PLANNING MODEL (VERSION 2)
SELECT ZONE ANALYSIS
APRIL 2022



APPENDIX D – TRAFFIC COUNT DATA

Site 1
S Sumter Blvd (NS) & Pocatella Ave (EW)

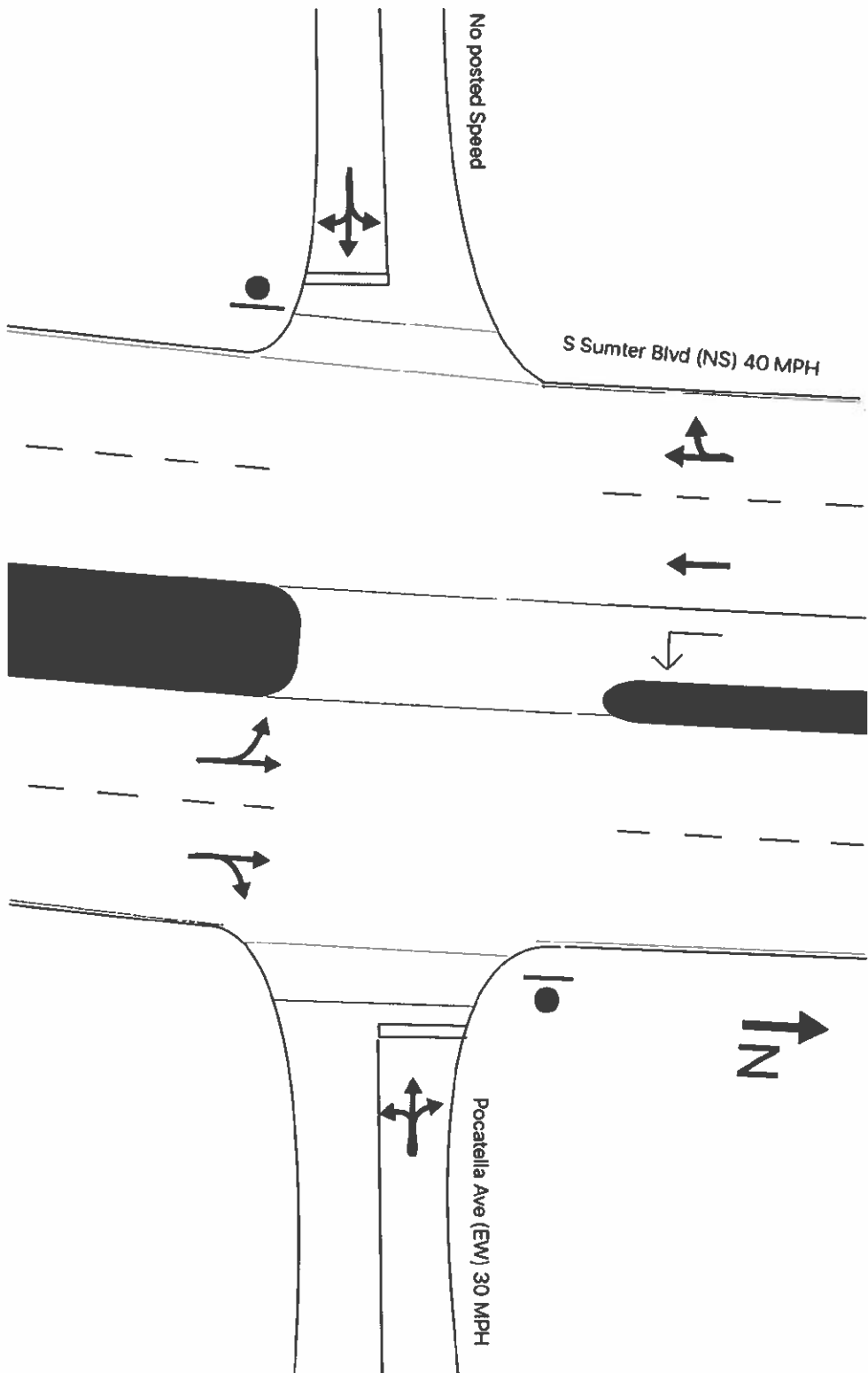
S Sumter Blvd: 40 MPH
Pocatella Ave: 30 MPH

Date
Tuesday, May 23, 2023

Lat/Long
27.045024°, -82.216967°

Weather
Fog
78°F

2 Way Stop Control



Peak Hour Turning Movement Count

North Port, FL



www.marrtraffic.com

[Click here for Map](#)

Tuesday, May 23, 2023	
Period	0700 - 0900
Peak Hour	0800 - 0900

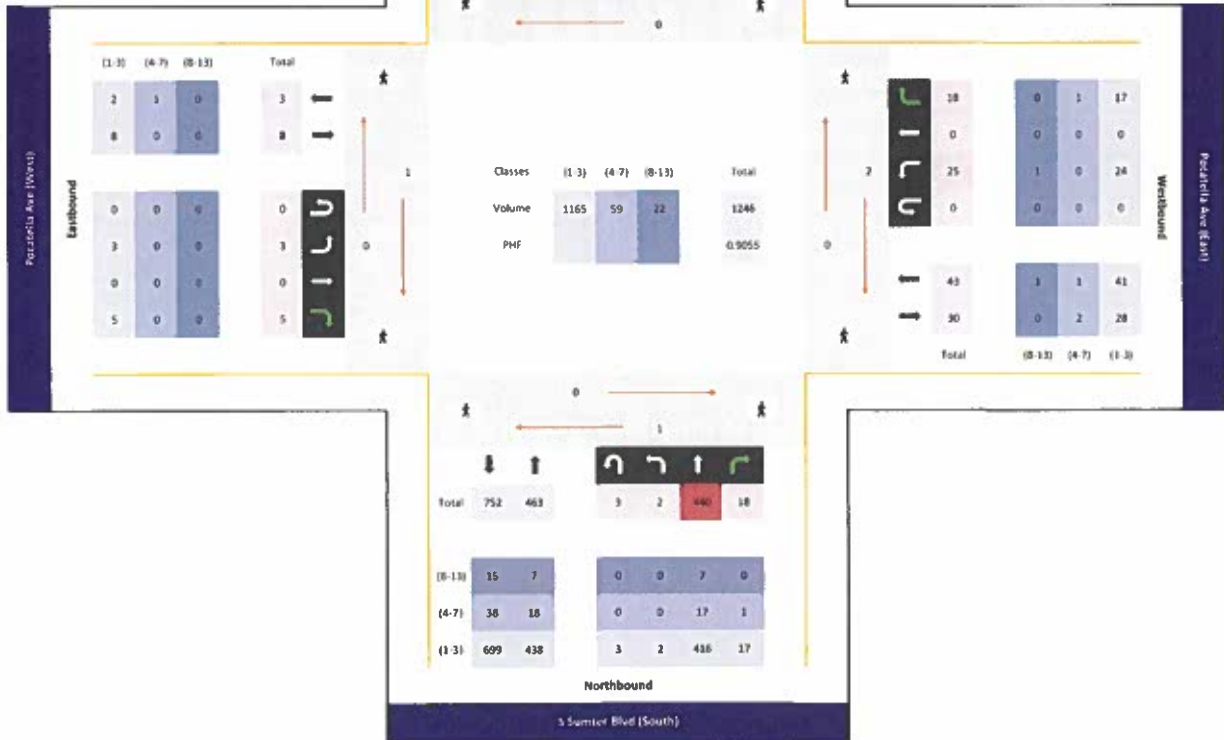
* the Peak Hour Diagram does not include Bikes

Session Parameters

(Drop Down Menu)

Peak Hour

Volume



Peak Hour Turning Movement Count

North Port, FL



www.marrtraffic.com

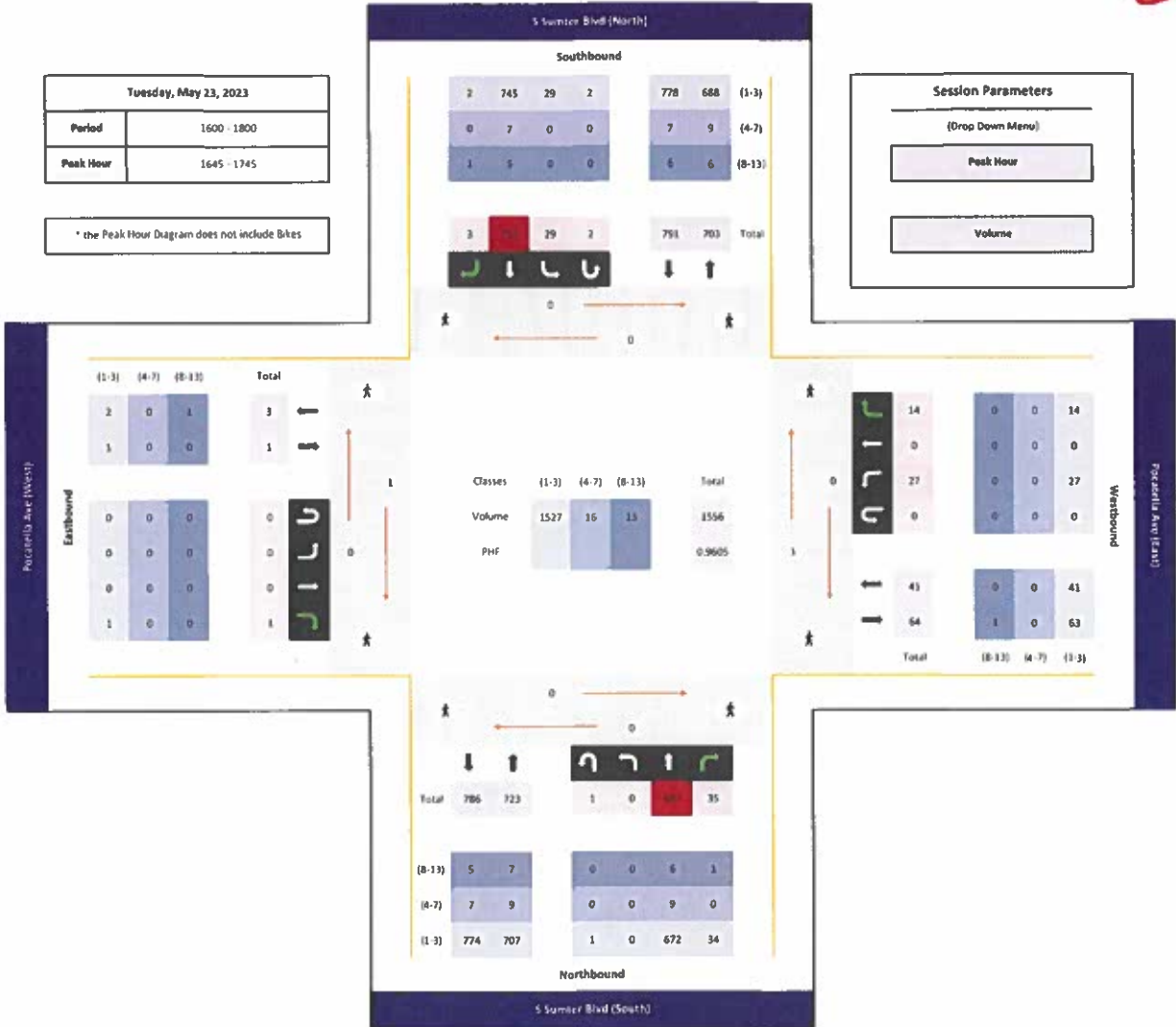
[Click here for Map](#)

Tuesday, May 23, 2023	
Period	1600 - 1800
Peak Hour	1645 - 1745

* the Peak Hour Diagram does not include Bikes

Session Parameters

(Drop Down Menu)

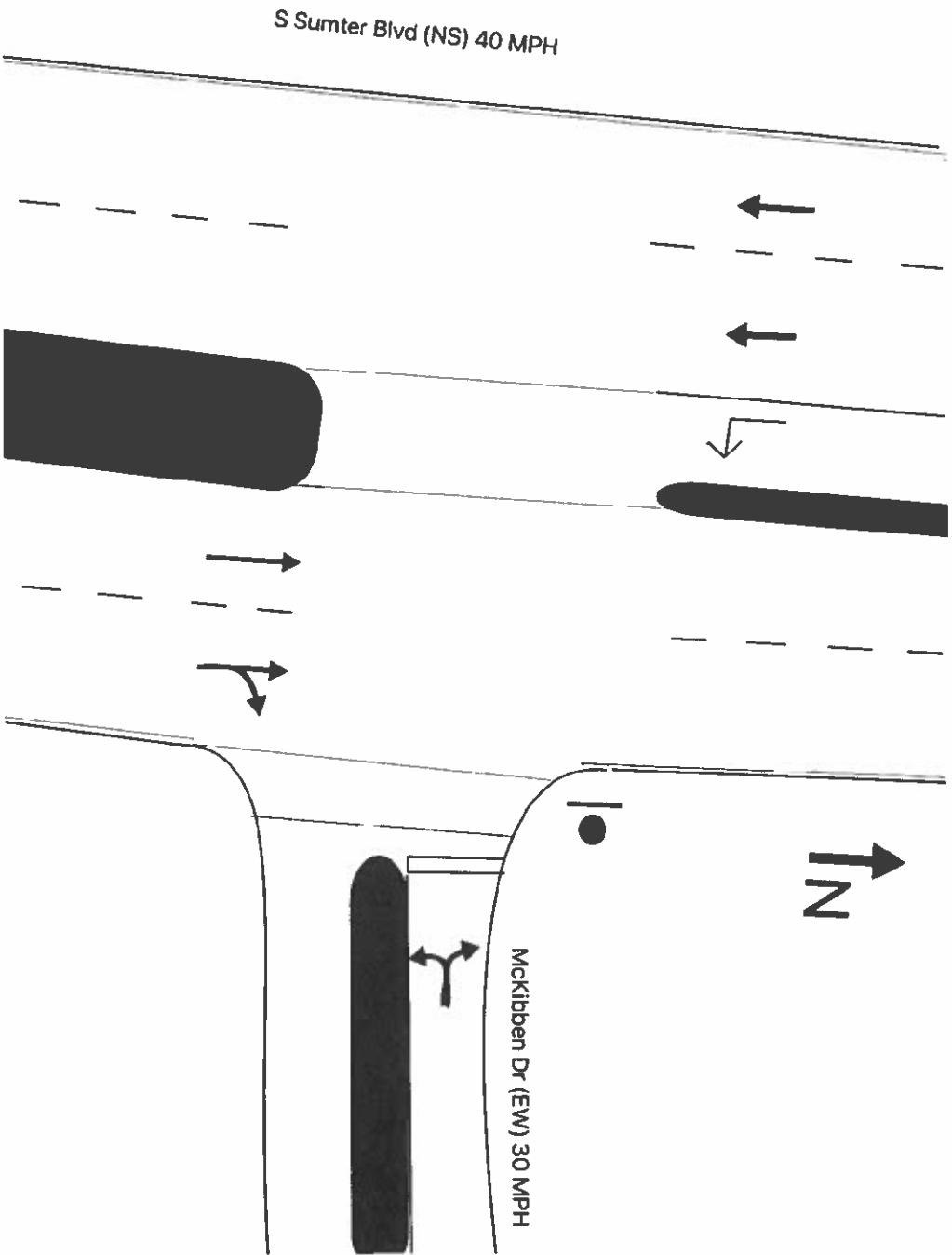


Site 2
S Sumter Blvd (NS) & McKibben Dr (EW)
S Sumter Blvd: 40 MPH
McKibben Dr: 30 MPH

Date
Tuesday, May 23, 2023
Lat/Long
27.042376, -82.217919

Weather
Fog
78°F

1 Way Stop Control



Peak Hour Turning Movement Count

North Port, FL



www.marrtraffic.com

[Click here for Map](#)

Tuesday, May 23, 2023	
Period	0700 - 0900
Peak Hour	0800 - 0900

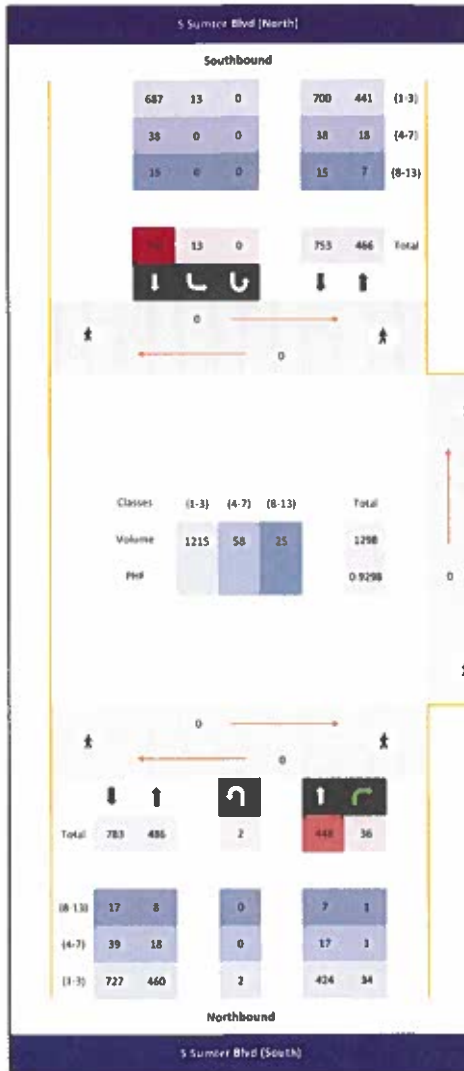
* the Peak Hour Diagram does not include Bikes

Session Parameters

(Drop Down Menu)

Peak Hour

Volume



McIbhen Dr

Peak Hour Turning Movement Count

North Port, FL



www.marrtraffic.com

[Click here for Map](#)

Tuesday, May 23, 2023	
Period	1600 - 1800
Peak Hour	1645 - 1745

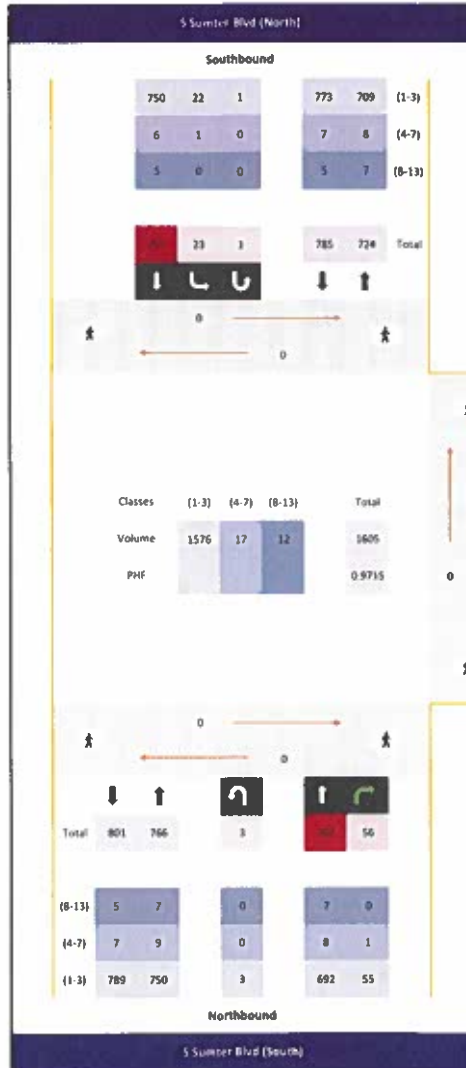
* the Peak Hour Diagram does not include Bikes

Session Parameters

(Drop Down Menu)

Peak Hour

Volume



Northbound Dr

2022 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL
 CATEGORY: 1700 SARASOTA COUNTYWIDE

MOCF: 0.90
 PSCF

WEEK	DATES	SF	PSCF
1	01/01/2022 - 01/01/2022	1.13	1.26
2	01/02/2022 - 01/08/2022	1.06	1.18
3	01/09/2022 - 01/15/2022	0.98	1.09
4	01/16/2022 - 01/22/2022	0.96	1.07
* 5	01/23/2022 - 01/29/2022	0.94	1.04
* 6	01/30/2022 - 02/05/2022	0.92	1.02
* 7	02/06/2022 - 02/12/2022	0.90	1.00
* 8	02/13/2022 - 02/19/2022	0.88	0.98
* 9	02/20/2022 - 02/26/2022	0.88	0.98
*10	02/27/2022 - 03/05/2022	0.88	0.98
*11	03/06/2022 - 03/12/2022	0.87	0.97
*12	03/13/2022 - 03/19/2022	0.87	0.97
*13	03/20/2022 - 03/26/2022	0.88	0.98
*14	03/27/2022 - 04/02/2022	0.89	0.99
*15	04/03/2022 - 04/09/2022	0.91	1.01
*16	04/10/2022 - 04/16/2022	0.92	1.02
*17	04/17/2022 - 04/23/2022	0.93	1.03
18	04/24/2022 - 04/30/2022	0.95	1.06
19	05/01/2022 - 05/07/2022	0.97	1.08
20	05/08/2022 - 05/14/2022	0.98	1.09
21	05/15/2022 - 05/21/2022	1.00	1.11
22	05/22/2022 - 05/28/2022	1.01	1.12
23	05/29/2022 - 06/04/2022	1.03	1.14
24	06/05/2022 - 06/11/2022	1.04	1.16
25	06/12/2022 - 06/18/2022	1.06	1.18
26	06/19/2022 - 06/25/2022	1.06	1.18
27	06/26/2022 - 07/02/2022	1.06	1.18
28	07/03/2022 - 07/09/2022	1.06	1.18
29	07/10/2022 - 07/16/2022	1.07	1.19
30	07/17/2022 - 07/23/2022	1.07	1.19
31	07/24/2022 - 07/30/2022	1.07	1.19
32	07/31/2022 - 08/06/2022	1.08	1.20
33	08/07/2022 - 08/13/2022	1.08	1.20
34	08/14/2022 - 08/20/2022	1.09	1.21
35	08/21/2022 - 08/27/2022	1.11	1.23
36	08/28/2022 - 09/03/2022	1.12	1.24
37	09/04/2022 - 09/10/2022	1.14	1.27
38	09/11/2022 - 09/17/2022	1.16	1.29
39	09/18/2022 - 09/24/2022	1.13	1.26
40	09/25/2022 - 10/01/2022	1.10	1.22
41	10/02/2022 - 10/08/2022	1.07	1.19
42	10/09/2022 - 10/15/2022	1.04	1.16
43	10/16/2022 - 10/22/2022	1.05	1.17
44	10/23/2022 - 10/29/2022	1.05	1.17
45	10/30/2022 - 11/05/2022	1.06	1.18
46	11/06/2022 - 11/12/2022	1.07	1.19
47	11/13/2022 - 11/19/2022	1.08	1.20
48	11/20/2022 - 11/26/2022	1.09	1.21
49	11/27/2022 - 12/03/2022	1.11	1.23
50	12/04/2022 - 12/10/2022	1.12	1.24
51	12/11/2022 - 12/17/2022	1.13	1.26
52	12/18/2022 - 12/24/2022	1.06	1.18
53	12/25/2022 - 12/31/2022	0.98	1.09

* PEAK SEASON



APPENDIX E – GROWTH RATE WORKSHEETS

Exhibit C - Application

Project: Pocatella Avenue Mixed-Use Project Site
Location: City of North Port
Notes: FDOT Historical AADT

Volume Source #1: 4902 - SUMTER BLVD, SOUTH OF POCATELLA
Volume Source #2:
Volume Source #3:
Volume Source #4:
Volume Source #5:

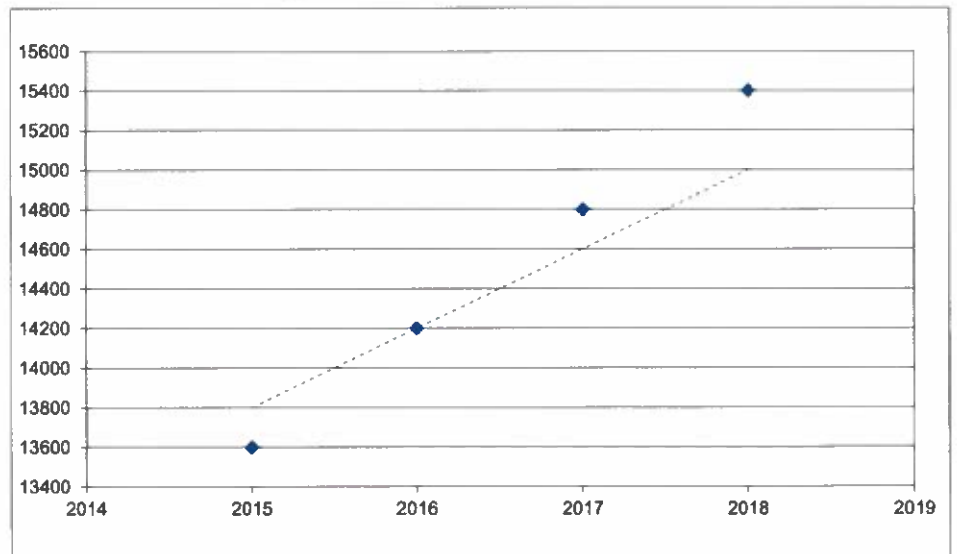
Line	Month	Year	Volume Source #1	Volume Source #2	Volume Source #3	Volume Source #4	Volume Source #5	Average Volume
1		2015	13600					13600
2		2016	14200					14200
3		2017	14800					14800
4		2018	15400					15400
5		2019	15000					15000
6								
7								
8								
9								
10								

INPUT DATA				OUTPUT DATA			
Line	Month	Year	Aggregate Traffic Volume	Line	Month	Year	Best Fit Volume Trend
1		2015	13600	1		2015	13800
2		2016	14200	2		2016	14200
3		2017	14800	3		2017	14600
4		2018	15400	4		2018	15000
5		2019	15000	5		2019	15400
6				6			
7				7			
8				8			
9				9			
10				10			

Slope: 400
Intercept: -792200
R²: 0.8
Standard Error: 365.1483717

Exponential
Growth Rate: 2.78%
 Future = Existing (1+Growth)^N

Linear
Growth Rate: 2.90%
 Future = Existing (1+Growth*N)



FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2020 HISTORICAL AADT REPORT

COUNTY: 17 - SARASOTA

SITE: 4902 - SUMTER BLVD, SOUTH OF POCATELLA NORTH PORT

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2020	14600	F	S	9.00	52.20	4.10
2019	15000	C	S	9.00	52.30	4.10
2018	15400	C	S	9.00	52.40	4.10
2017	14800	T	S	9.00	52.30	3.30
2016	14200	S	S	9.00	52.60	4.70
2015	13600	F	S	9.00	52.80	4.70
2014	13200	C	S	9.00	52.40	4.70
2013	13800	S	S	9.00	52.60	2.80
2012	13800	F	S	9.00	52.70	2.80
2011	13800	C	S	9.00	52.90	2.80
2010	12800	S	S	10.38	52.56	3.80
2009	13000	F	S	10.58	53.66	3.80
2008	13500	C	S	10.63	52.82	3.80

Exhibit C - Application

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN
 *K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES



**APPENDIX F –
TURN LANE ANALYSIS WORKSHEETS
(INCLUDING SYNCHRO RESULTS)**

Pocatella Ave Mixed-Use Project
3: South Sumter Blvd & Pocatella Ave

Buildout Conditions
Timing Plan: AM Peak-Hour

Intersection												
Int Delay, s/veh	1.1											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕		↕	↕	
Traffic Vol, veh/h	3	0	6	33	0	45	6	526	23	29	856	1
Future Vol, veh/h	3	0	6	33	0	45	6	526	23	29	856	1
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	135	-	-
Veh in Median Storage, #	-	1	-	-	1	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	91	91	91	91	91	91	91	91	91	91	91	91
Heavy Vehicles, %	0	0	0	1	0	1	0	2	1	1	4	1
Mvmt Flow	3	0	7	36	0	49	7	578	25	32	941	1

Major/Minor	Minor2		Minor1			Major1			Major2			
Conflicting Flow All	1309	1623	471	1140	1611	302	942	0	0	603	0	0
Stage 1	1006	1006	-	605	605	-	-	-	-	-	-	-
Stage 2	303	617	-	535	1006	-	-	-	-	-	-	-
Critical Hdwy	7.5	6.5	6.9	7.52	6.5	6.92	4.1	-	-	4.12	-	-
Critical Hdwy Stg 1	6.5	5.5	-	6.52	5.5	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.5	5.5	-	6.52	5.5	-	-	-	-	-	-	-
Follow-up Hdwy	3.5	4	3.3	3.51	4	3.31	2.2	-	-	2.21	-	-
Pot Cap-1 Maneuver	119	104	545	157	105	697	736	-	-	977	-	-
Stage 1	262	321	-	454	491	-	-	-	-	-	-	-
Stage 2	687	484	-	500	321	-	-	-	-	-	-	-
Platoon blocked, %												
Mov Cap-1 Maneuver	107	99	545	150	100	697	736	-	-	977	-	-
Mov Cap-2 Maneuver	203	210	-	278	212	-	-	-	-	-	-	-
Stage 1	258	310	-	448	484	-	-	-	-	-	-	-
Stage 2	629	477	-	478	310	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	15.6	15.6	0.2	0.3
HCM LOS	C	C		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	736	-	-	349	426	977	-	-
HCM Lane V/C Ratio	0.009	-	-	0.028	0.201	0.033	-	-
HCM Control Delay (s)	9.9	0.1	-	15.6	15.6	8.8	-	-
HCM Lane LOS	A	A	-	C	C	A	-	-
HCM 95th %tile Q(veh)	0	-	-	0.1	0.7	0.1	-	-

Pocatella Ave Mixed-Use Project
5: McKibben Dr & South Sumter Blvd

Buildout Conditions
Timing Plan: AM Peak-Hour

Intersection						
Int Delay, s/veh	1.3					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↘		↕↔		↘	↕↕
Traffic Vol, veh/h	80	24	535	60	18	882
Future Vol, veh/h	80	24	535	60	18	882
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	135	-
Veh in Median Storage, #	1	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	93	93	93	93	93	93
Heavy Vehicles, %	1	1	2	1	0	4
Mvmt Flow	86	26	575	65	19	948
Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	1120	320	0	0	640	0
Stage 1	608	-	-	-	-	-
Stage 2	512	-	-	-	-	-
Critical Hdwy	6.82	6.92	-	-	4.1	-
Critical Hdwy Stg 1	5.82	-	-	-	-	-
Critical Hdwy Stg 2	5.82	-	-	-	-	-
Follow-up Hdwy	3.51	3.31	-	-	2.2	-
Pot Cap-1 Maneuver	202	679	-	-	954	-
Stage 1	509	-	-	-	-	-
Stage 2	569	-	-	-	-	-
Platoon blocked, %			-	-	-	-
Mov Cap-1 Maneuver	198	679	-	-	954	-
Mov Cap-2 Maneuver	333	-	-	-	-	-
Stage 1	509	-	-	-	-	-
Stage 2	558	-	-	-	-	-
Approach	WB	NB	SB			
HCM Control Delay, s	18.5	0	0.2			
HCM LOS	C					
Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT		
Capacity (veh/h)	-	-	377	954	-	
HCM Lane V/C Ratio	-	-	0.297	0.02	-	
HCM Control Delay (s)	-	-	18.5	8.9	-	
HCM Lane LOS	-	-	C	A	-	
HCM 95th %tile Q(veh)	-	-	1.2	0.1	-	

Pocatella Ave Mixed-Use Project
3: South Sumter Blvd & Pocatella Ave

Buildout Conditions
Timing Plan: PM Peak-Hour

Intersection												
Int Delay, s/veh	1.1											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↔		↕	↕	
Traffic Vol, veh/h	0	0	1	35	0	39	1	819	44	62	903	3
Future Vol, veh/h	0	0	1	35	0	39	1	819	44	62	903	3
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	135	-	-
Veh in Median Storage, #	-	1	-	-	1	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	96	96	96	96	96	96	96	96	96	96	96	96
Heavy Vehicles, %	0	0	0	0	0	0	0	1	1	0	1	1
Mvmt Flow	0	0	1	36	0	41	1	853	46	65	941	3

Major/Minor	Minor2		Minor1			Major1			Major2			
Conflicting Flow All	1502	1974	472	1479	1952	450	944	0	0	899	0	0
Stage 1	1073	1073	-	878	878	-	-	-	-	-	-	-
Stage 2	429	901	-	601	1074	-	-	-	-	-	-	-
Critical Hdwy	7.5	6.5	6.9	7.5	6.5	6.9	4.1	-	-	4.1	-	-
Critical Hdwy Stg 1	6.5	5.5	-	6.5	5.5	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.5	5.5	-	6.5	5.5	-	-	-	-	-	-	-
Follow-up Hdwy	3.5	4	3.3	3.5	4	3.3	2.2	-	-	2.2	-	-
Pot Cap-1 Maneuver	86	63	544	89	65	562	735	-	-	764	-	-
Stage 1	239	299	-	313	368	-	-	-	-	-	-	-
Stage 2	580	360	-	459	299	-	-	-	-	-	-	-
Platoon blocked, %												
Mov Cap-1 Maneuver	74	57	544	83	59	562	735	-	-	764	-	-
Mov Cap-2 Maneuver	173	155	-	200	169	-	-	-	-	-	-	-
Stage 1	238	274	-	312	367	-	-	-	-	-	-	-
Stage 2	536	359	-	419	274	-	-	-	-	-	-	-

Approach	EB		WB			NB			SB		
HCM Control Delay, s	11.6		20.9			0			0.6		
HCM LOS	B		C								

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	735	-	-	544	303	764	-	-
HCM Lane V/C Ratio	0.001	-	-	0.002	0.254	0.085	-	-
HCM Control Delay (s)	9.9	0	-	11.6	20.9	10.1	-	-
HCM Lane LOS	A	A	-	B	C	B	-	-
HCM 95th %tile Q(veh)	0	-	-	0	1	0.3	-	-

Pocatella Ave Mixed-Use Project
5: South Sumter Blvd & McKibben Dr

Buildout Conditions
Timing Plan: PM Peak-Hour

Intersection						
Int Delay, s/veh	1.4					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↘		↕		↗	↕
Traffic Vol, veh/h	74	22	843	99	32	907
Future Vol, veh/h	74	22	843	99	32	907
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	135	-
Veh in Median Storage, #	1	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	97	97	97	97	97	97
Heavy Vehicles, %	1	0	1	1	1	1
Mvmt Flow	76	23	869	102	33	935
Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	1454	486	0	0	971	0
Stage 1	920	-	-	-	-	-
Stage 2	534	-	-	-	-	-
Critical Hdwy	6.82	6.9	-	-	4.12	-
Critical Hdwy Stg 1	5.82	-	-	-	-	-
Critical Hdwy Stg 2	5.82	-	-	-	-	-
Follow-up Hdwy	3.51	3.3	-	-	2.21	-
Pot Cap-1 Maneuver	122	533	-	-	712	-
Stage 1	351	-	-	-	-	-
Stage 2	555	-	-	-	-	-
Platoon blocked, %			-	-	-	-
Mov Cap-1 Maneuver	116	533	-	-	712	-
Mov Cap-2 Maneuver	243	-	-	-	-	-
Stage 1	351	-	-	-	-	-
Stage 2	529	-	-	-	-	-
Approach	WB	NB	SB			
HCM Control Delay, s	24.9	0	0.4			
HCM LOS	C					
Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT		
Capacity (veh/h)	-	-	278	712		
HCM Lane V/C Ratio	-	-	0.356	0.046		
HCM Control Delay (s)	-	-	24.9	10.3		
HCM Lane LOS	-	-	C	B		
HCM 95th %tile Q(veh)	-	-	1.6	0.1		

When Not to Consider Exclusive Right-Turn Lanes

- Dense or built-out corridors with limited space
- Right-turn lane that would negatively impact pedestrians or bicyclists
- Vehicular movements from driveways or median openings that cross the right-turn lane resulting in multiple threat crashes
- Context classifications C2T, C4, C5, or C6

When Exclusive Right-Turn Lanes are Beneficial

There are instances when adding an exclusive right-turn lane for unsignalized driveways are beneficial to traffic operations and safety. [Table 27](#) provides some guidance for this situation based on the speed limit of the roadway and how many right turns occur per hour. Locations where the Auto and Truck Modal Emphasis is "High" may be appropriate for consideration of Exclusive Right Turn Lanes.

Table 27 – Recommended Guidelines for Exclusive Right-Turn Lanes to Unsignalized Driveway¹⁰

Roadway Posted Speed Limit	Number of Right Turns Per Hour
45 mph or less	80 – 125 ¹
Over 45 mph	35 – 55 ²
<i>Note: A posted speed limit of 45 mph may be used with these thresholds if the operating speeds are known to be over 45 mph during the time of peak right turn demand.</i>	
<i>Note on traffic projections: Projecting turning volumes is, at best, a knowledgeable estimate. Keep this in mind especially if the projections of right turns are close to meeting the guidelines. In that case, consider requiring the turn lane.</i>	
¹ The lower threshold of 80 right-turn vehicles per hour would be most used for higher volume (greater than 600 vehicles per hour, per lane in one direction on the major roadway) or two-lane roads where lateral movement is restricted. The 125 right-turn vehicles per hour upper threshold would be most appropriate on lower volume roadways, multilane highways, or driveways with a large entry radius (50 feet or greater).	
² The lower threshold of 35 right-turn vehicles per hour would be most appropriately used on higher volume two-lane roadways where lateral movement is restricted. The 55 right-turn vehicles per hour upper threshold would be most appropriate on lower volume roadways, multilane highways, or driveways with large entry radius (50 feet or greater).	

Source: [NCHRP Report 420 \(Impacts of Access Management Techniques\)](#)

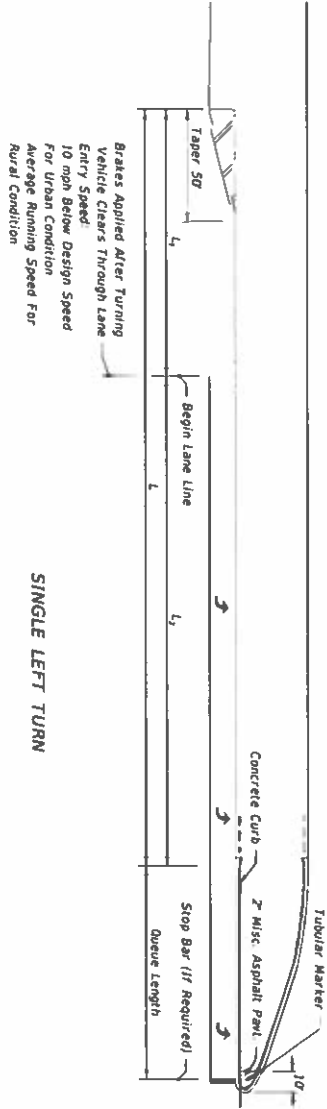
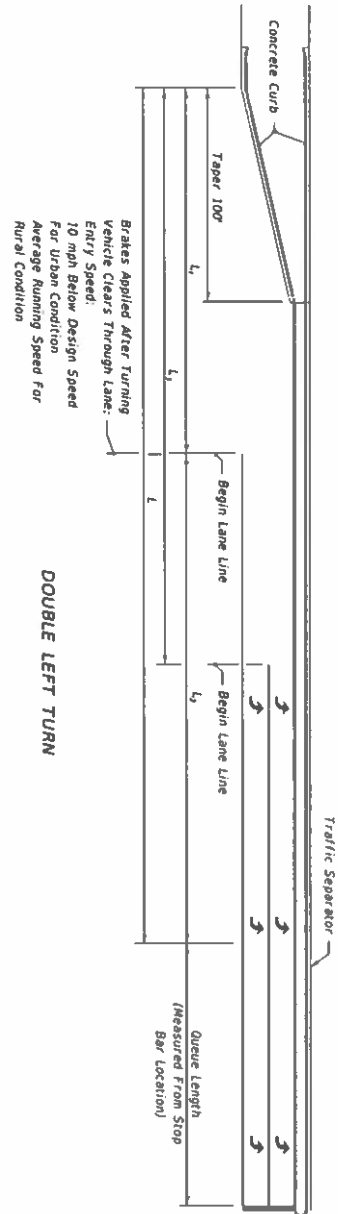
These recommendations are primarily based on the research done in [NCHRP Report 420, Impacts of Access Management Techniques, Chapter 4 – Unsignalized Access Spacing \(Technique 1B\)](#), and [Use of Speed Differential as a Measure to Evaluate the Need for Right-Turn Deceleration Lane at Unsignalized Intersections](#).

In the *NCHRP Report 420*, the observed high-speed roads, 30 to 40 right-turn vehicles per hour caused evasive maneuvers on 5 - 10 percent of the following through vehicles. For lower speed roadways, 80 to 110 right-turn vehicles caused 15 - 20 percent of the following through vehicles to make evasive maneuvers. The choice of acceptable percentages of through vehicles impacted is a decision based on reasonable expectations of the different roadways.

In this study, by modeling speed differentials, a better understanding of the impacts of through volume and driveway radius was discovered.

¹⁰ May not be appropriate for signalized locations where signal phasing plays an important role in determining the need for right turn lanes.

MEDIAN TURN LANES MINIMUM DECELERATION LENGTHS



Design Speed (mph)	Entry Speed (mph)	Clearance Distance L_1 (ft.)	Brake To Stop Distance L_2 (ft.)	URBAN CONDITIONS			RURAL CONDITIONS		
				Total Decel. Distance L_3 (ft.)	Clearance Distance L_4 (ft.)	Brake To Stop Distance L_5 (ft.)	Total Decel. Distance L_6 (ft.)	Clearance Distance L_7 (ft.)	
35	25	70	75	145	110	—	—	—	—
40	30	80	75	155	120	—	—	—	—
45	35	85	100	185	135	—	—	—	—
50	40/44	105	135	240	160	185	290	160	—
55	48	125	—	—	185	290	—	195	—
60	52	145	—	—	—	260	405	230	—
65	55	170	—	—	—	290	460	270	—

NOT TO SCALE

EXHIBIT 212-1
01/01/2023

Pocatella Avenue Mixed-Use — Project Narrative

The subject property is an 11.7 +/- acre parcel located at 4951 Pocatella Ave, east of Sumter Blvd. The Future Land Use Designation of the property is Professional Office/Institutional and the Zoning Designation is Office/Professional/Institutional (OPI). The proposed Special Exception is for a Mixed-Use development containing 10,000 square feet of office buildings and a 175-unit Class-A multi-family residential community. Monument signage is located at the entrance drive on the southern boundary of the property near McKibben Drive. A proposed 5' sidewalk is provided to connect to the existing sidewalk network in the immediate vicinity. Access to the community will be provided from Pocatella Avenue and McKibben Drive and utility capacity is available to serve the site. A Type "C" landscape buffer is provided around the boundary of the property.

The proposed Special Exception is consistent with all applicable elements of the Comprehensive Plan and specifically advances Housing Policy Goals 1.5 and 6.1 by providing additional housing stock to meet population growth and overall housing demand, and through its close proximity to the SCAT transit system. Additionally, the Mixed-Use development helps diversify North Port's tax base by including 10,000 square feet of office space and high density residential, both of which are disproportionately represented in North Port today.

Further, the proposed Special Exception is consistent with all applicable elements of the Unified Land Development Code and consistent with the required findings for Special Exception approval as evaluated below.

The applicant has acknowledged and addressed all Pre-Application comments specific to the Special Exception made by each department. Additionally, the applicant has met and responded to all Findings in ULDC Section 53-259 Items A-P. Any and all comments pertaining to DMP or MAS will be acknowledged and addressed at the appropriate time during the application, planning, and approval process.

Below is an overview of our compliance with the Comprehensive Plan & Future Land Use Map as well as the explanation of our compliance with the requirements of a Special Exception application.

Goal 1 - *Ensure that the character and location of land uses maximize the potential for economic benefit and the enjoyment of natural and man-made resources by citizens while minimizing the threat to health, safety and welfare posed by hazards, nuisances, incompatible land uses, and environmental degradation.*

We maximize economic benefit by combining office and residential uses maximizing the yield on the property within the confines of the code. The property was zoned OPI 20 years ago in 2003 but remains vacant today resulting in low vacant land property taxes (\$11,164 in 2022), no employment opportunities, and no housing. We unlock this potential by combining residential and office uses in order to create a viable project. The total economic impact attributed to the 175 apartments alone is estimated at \$70,375,370 according to National Multifamily Housing Council's (NMHC) economic impact estimates for an apartment project in the area. In addition, the 10,000 SF of office use generates further economic

impact allowing the site to bring even more professional jobs to the community where the employees and businesses will contribute to local tax revenues

Objective 1 - *Future development activities shall continue to be directed in appropriate areas as depicted on the Future Land Use Map, and shall encourage the use of innovative land development regulations, consistent with sound planning principles, minimal natural limitations, the goals, objectives and policies contained within this plan, and the community character.*

Under Objective 1 and Policy 1.1, The Zoning and Future Land Use Map depict the site as Professional Office/Institutional and is described as follows:

Professional Office - These lands are designated for professional and business offices, institutional, cultural, residential and associated uses (0.95 FAR, 15 DU/acre excluding bonuses, incentives or transfer of development rights. As a guideline, the residential use should not exceed 50% of the floor area).

Goal 2 / Objective 2– Activity Centers – We are not located in an activity center so this goal does not apply

Objective 3 - *The economic base shall be increased and diversified relative to the City's economic tax base through planning and development activities which attract new business and industries, while also encouraging the expansion of existing businesses and industries as indicated in the Economic Development Element*

We diversify the tax base through uses which are currently underrepresented in North Port. The office use will generate higher income earners than many existing uses. These employees and businesses will also generate revenue for North Port through their spending as well as the local business taxes they will pay. On the residential side, currently, over 80% of the residential tax base is single family residential generating primarily homestead taxes. Bringing 175 new households exponentially increases the tax base and brings multi-family (commercial) property taxes to the North Port Tax Rolls which is also underrepresented.

Objective 4: *Support the City's diversity of neighborhoods by implementing targeted development and planning strategies for neighborhoods. This can be accomplished through methods including the establishment of City-wide and neighborhood specific policies addressing development and redevelopment efforts, safety, stability, property values, mobility and aesthetic controls including street trees, public art, and entry features.*

Policy 4.2: *Encourage the development of neighborhoods that provide safe vehicular and nonvehicular access and mobility, as well as convenient walkability and connectivity to parks, civic areas, schools, Activity Centers, and adjacent neighborhoods. Such connectivity may be achieved via the following transportation alternatives:*

- *Bridges (including vehicular and/or pedestrian only);*
- *Roadways;*

- *Sidewalks;*
- *Bikeways;*
- *Fitness trails;*
- *Golf cart paths; and,*
- *Blueways*

Our proposed project connects our sidewalks to the existing multi-modal walkway along S Sumter Boulevard. This walkway allows walkability from our community to multiple parks and an activity center nearby. Our residential buildings and amenity areas will also be access controlled making it safer for the residents of the community who live with us. From a vehicular traffic perspective, we have conducted a traffic study by a licensed engineer to confirm that our vehicular accesses will not adversely affect flow, safety, or control on the surrounding roadway system. This study, which is included on page 27 of the SPX application, concluded that we are well within the confines of safety for the traffic that will be generated on site.

Objective 5: Future growth and development will be managed through the preparation, adoption, implementation, and enforcement of land development regulations.

We meet all of the land development regulations and, should we receive the special exception approval, will continue to develop in accordance with Objective 5

Objective 6: The City of North Port has established an Urban Service Area Boundary (USB) to provide a spatial framework within which urban scale development can occur and the location, capacity, and financing for roads and utilities necessary to support development, can be planned for and provided. All development orders and permits for future development activities shall be issued only if infrastructure facilities necessary to meet level of service standards (which are adopted as part of the Capital Improvements Element of this plan) are available concurrent with the impacts of the development pursuant to the USB, and implement the master plan as required in Policy 6.9 herein. Where appropriate, due consideration shall be given to the suitability of land, topography and soils prior to the issuance of any development order or permit.

We have submitted concurrency review to the required utility providers and have documentation that the infrastructure is adequate for our project. These infrastructure authorities include North Port Utilities Department for Water, Sewer, and Reclaimed Water found on page 26 of the SPX application

Objective 7 – Relates to a Unified Capital Improvement Plan for City Service Extensions

We do not require any extensions of services

Goal 3 - At the time of build out, the City shall serve all developed residential, commercial, and industrial areas with potable water and sanitary sewer in order to maintain the adopted level of service standards, based upon the City's population, excluding the Agricultural/Residential Estates area, Myakka State Forest, and other conservation/open space areas.

As stated above, we have received capacity confirmation from the City of North Port Utilities Department. This letter has been included on page 26 of the SPX application

Objective 9: The FLUM shall reflect the policy direction found within the chapters of the Comprehensive Plan, and shall coordinate land use categories with soil and topographic characteristics, the protection of historic, archeological and natural resources, existing land uses, forms of development and the availability of public facilities.

Our project is consistent with the uses designated on the Future Land Use Map. We have also conducted resources studies and no significant environmental, historical, or archaeological concerns exist on the site

Below are the responses to all standards required in North Port ULDC Section 53-259 (a-p)

Sec. 53-259. Findings.

Planning and Zoning Advisory Board and City Commission action. Before any special exception shall be approved, the Planning and Zoning Advisory Board and City Commission shall determine that:

- (a) The proposed use shall be consistent with the intent, goals, objectives, policies and programs of the City of North Port Comprehensive Plan and the intent of the zoning district as defined in this Unified Land Development Code for the area in which the property is located.

Above we have outlined the goals, objectives, and policies in the comprehensive plan that apply to our location, land uses, and zoning and how we are compliant with each

- (b) The density or intensity of the proposed use shall be consistent with the intended future use of the designated land use area in which the property is located, in accordance with the provisions of the Future Land Use Plan Map contained in the Comprehensive Plan.

The proposed development with a density of 15 dwelling units per acre is consistent with the provisions for Office, Professional Institutional designated properties contained in the Comprehensive Plan. Furthermore, we are below the 95% OPI FAR maximum with a FAR of 44.8%. This includes both the residential and office uses.

Total Site Area = 11.7 acres x 43,560 = 509,652

Total Building Floor Area = 228,500

FAR = 44.8%

- (c) The proposed use, singularly or in combination with other previously approved special exceptions, must not be detrimental to the health, safety, welfare, morals, order, comfort, convenience, appearance or prosperity of the neighborhood or adjacent uses; and shall be an economic benefit to the economy of the City. [Amended 11-24-2003 by Ord. No. 2002-56]

The proposed use will not be detrimental to health safety, welfare, morals, comfort and convenience, appearance or prosperity of the neighborhood or adjacent uses.

The property will elevate that standard of living in the community through its modern and inclusive design, thoughtful amenity package, thorough safety and wellness practices and standards. Our developments feature gated access entry for the safety of the residents and the surrounding properties. Our project is designed to elevate health, safety, and wellness of the community and our residents through active, on site top rated professional management.

- (d) The intensity of the proposed use shall be harmonious with the character of other uses in the neighborhood.

The property is located amidst several complimentary adjacent uses. To the north is an institutional senior living facility, the south – a church and daycare, to the east – a residential community with several buffers including a drainage and maintenance easement (20'), drainage ditch (50'5"), and landscape buffer (10'). This makes a total of 80'5" from the neighboring property line on the east. This area will also be landscaped according to the Type C buffer requirements in the City building code. Our property is buffered from the residential community to the west by a 10-foot drainage and maintenance easement, City greenway/multimodal ROW of 112'5" at its widest and 34' at its narrowest, and 68' roadway of Sumpter Boulevard. We are approximately 200 feet away from the neighborhoods to the west when you include the buffers of Sumpter Boulevard, City Greenway and both sidewalk buffers, and western boundary easement. A concept rendering has been provided with this application to demonstrate how the project will blend in naturally with the neighborhood

- (e) The height and orientation of any proposed structure(s) shall be compatible with existing neighboring structures and uses.

The proposed maximum building height is three stories and with extensive setbacks and buffers we are compatible with existing neighboring structures. We've placed our shorter buildings nearer to the eastern side of our site to avoid larger buildings adjacent to neighbors. We have included a concept rendering to demonstrate this as well. Details of the location of the structures on site and orientation can be found on page 20 of the special exception application (Development Master Plan)

- (f) The subject parcel shall be adequate in shape and size to accommodate the proposed use and provide for appropriate separation between neighboring uses

At only 18% FAR, the size and shape of the site is adequate to accommodate the proposed development. While we are only required to provide 30% open space, our site provides 52% open space (263,150 square feet). Buffers as mentioned previously include landscape buffers, drainage and maintenance buffers, roadways, and drainage ditches. All building setbacks in the code will also be met. You can find the details of these buffers on page 20 of the PDF version of the application under the title "Development Master Plan"

- (g) The proposed use shall be adequately screened and buffered to effectively separate traffic, light

and noise from existing or intended nearby uses.

The proposed development use is adequately screened and buffered to effectively separate traffic, light and noise from existing or intended nearby uses. A detailed conceptual landscape plan can be found on page 21 of the SPX application.

- (h) The loading and/or refuse areas shall not impose negative visual, odor or noise impacts on abutting uses or thoroughfares.

Refuse areas have been located to prevent negative visual, odor or noise impacts on abutting thoroughfares. The refuse area location can be found on page 20 on the Development Master Plan. We have reviewed this location with staff and received their approval and will meet their requirements for screening. We will screen the dumpster areas with an enclosed wall hiding the dumpster from clear view. A decorative trellis or similar overhead section will also be installed. On site maintenance staff will be responsible for daily oversight to ensure cleanliness and good working order of the compactor/dumpster area

- (i) The size and location of proposed sign(s) shall be in compliance with Chapter 29, Sign Regulations of these regulations, and shall be compatible with the character of the existing neighboring uses.

The proposed signs will be in compliance with all requirements of Chapter 29, Sign Regulations. We have included our signage locations on the Development Master Plan on page 20 of the SPX application.

- (j) Exterior lighting shall be harmonious with the character of existing neighboring uses, in terms of glare, and required foot candles.

The proposed lighting is harmonious with the character of neighboring uses. The lighting plan is included on the Development Master Plan on page 20 of the SPX. We have also provided the staff with detailed specifications and example lighting that we plan to use on the project.

- (k) The ingress and egress to the subject parcel and any structure involved shall not adversely affect traffic flow, safety or control.

The proposed ingress and egress to the subject parcel will not adversely affect traffic flow, safety or control. We conducted a traffic study at staff's request to ensure this and have included this traffic study as a part of the application. You can find the full report from March 31st, 2023 beginning on page 27. Staff specifically asked us to study whether any improvements or turn lanes would be warranted given the increase in traffic from the project at both South Sumter and Pocatella as well as South Sumter and Mckibben. It was determined that the existing turn lanes along Sumter are sufficient for future traffic flows and no extra turn lanes are necessary to ensure traffic safety

- (l) The access and internal circulation shall be adequate in case of fire or emergency.

The proposed access and internal circulation have been reviewed by the Fire Marshall and are adequate in case of fire or emergency. The Development Master Plan on page 20 specifically shows stabilized emergency access areas and turnaround areas

- (m) The proposed use shall not adversely affect traffic flow, safety or control on the surrounding roadway system.

The proposed use will not adversely affect traffic flow, safety or control. We conducted a traffic study at staff's request to ensure this and have included this traffic study as a part of the application. This report considers the use of the project. You can find the full report from March 31st, 2023 beginning on page 27. Staff specifically asked us to study whether any improvements or turn lanes would be warranted given the increase in traffic from the project at both South Sumter and Pocatella as well as South Sumpter and Mckibben. It was determined that the existing turn lanes along Sumpter are sufficient for future traffic flows and no extra turn lanes are necessary to ensure traffic safety

- (n) The location, type, and availability of proposed potable water systems shall be adequate for the proposed use and shall not adversely affect neighboring potable water systems

Potable water is available to the site and is adequate for the proposed use and without effect on neighboring potable water systems. The letter from North Port Utilities can be found on page 26 and confirms this

- (o) The location, type, and availability of proposed wastewater systems shall be adequate for the proposed use and compatible with drainage conditions in the area and neighboring uses

Wastewater is available to the site and is adequate for the proposed use and compatible with the drainage conditions in the area. The letter from North Port Utilities can be found on page 26 and confirms this. Furthermore, a conceptual utility and drainage plan can be found on page 22 of the application

- (p) The proposed use shall not cause or intensify flooding of neighboring uses

The City of North Port requires stormwater design that will not cause or intensify flooding. Our engineer is intimately familiar with the requirements of the City of North Port and our conceptual plan meets the requirements set forth by the City of North Port building code. The full stormwater plan will be fully designed at the Master Site Plan stage of the development. The drainage and utility plan can be found on page 22 of the application

DEVELOPMENT MASTER PLAN



SITE STATISTICS

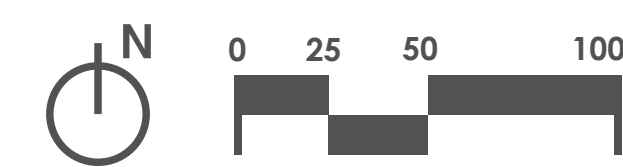
CURRENT LAND USE: VACANT LAND
 CURRENT ZONING: OPI (OFFICE/PROFESSIONAL/INSTITUTIONAL)
 LAND AREA: 11.7 ACRES
 ALLOWABLE DENSITY: 15 UNITS PER ACRE
 MAXIMUM ALLOWABLE NUMBER OF UNITS: 175 UNITS
 PROPOSED NUMBER OF UNITS: 175
 PARKING REQUIRED FOR RESIDENTIAL: 1.5 SPACES PER UNIT PLUS 2 FOR OWNER OR MANAGER PLUS 1 PER EVERY 10 UNITS = $(175 \times 1.5) + 2 + 175/10 = 282$ SPACES.
 PARKING REQUIRED FOR OFFICE: 1 SPACE PER 250 SQUARE FOOT OF FLOOR AREA = $10,000 \text{ SF} / 250 = 40$ SPACES
 PARKING PROVIDED: 322 SPACES MINIMUM.
 WATER AND SEWER: CITY OF NORTH PORT CENTRAL WATER AND SEWER

PROPOSED AREA

BUILDING COVERAGE = 91,500 SQUARE FEET (18%)
 OTHER IMPERVIOUS = 155,000 SQUARE FEET (30%)
 TOTAL OPEN SPACE REQUIRED = 30%
 TOTAL OPEN SPACE = 263,150 SQUARE FEET (52%)

NOTES

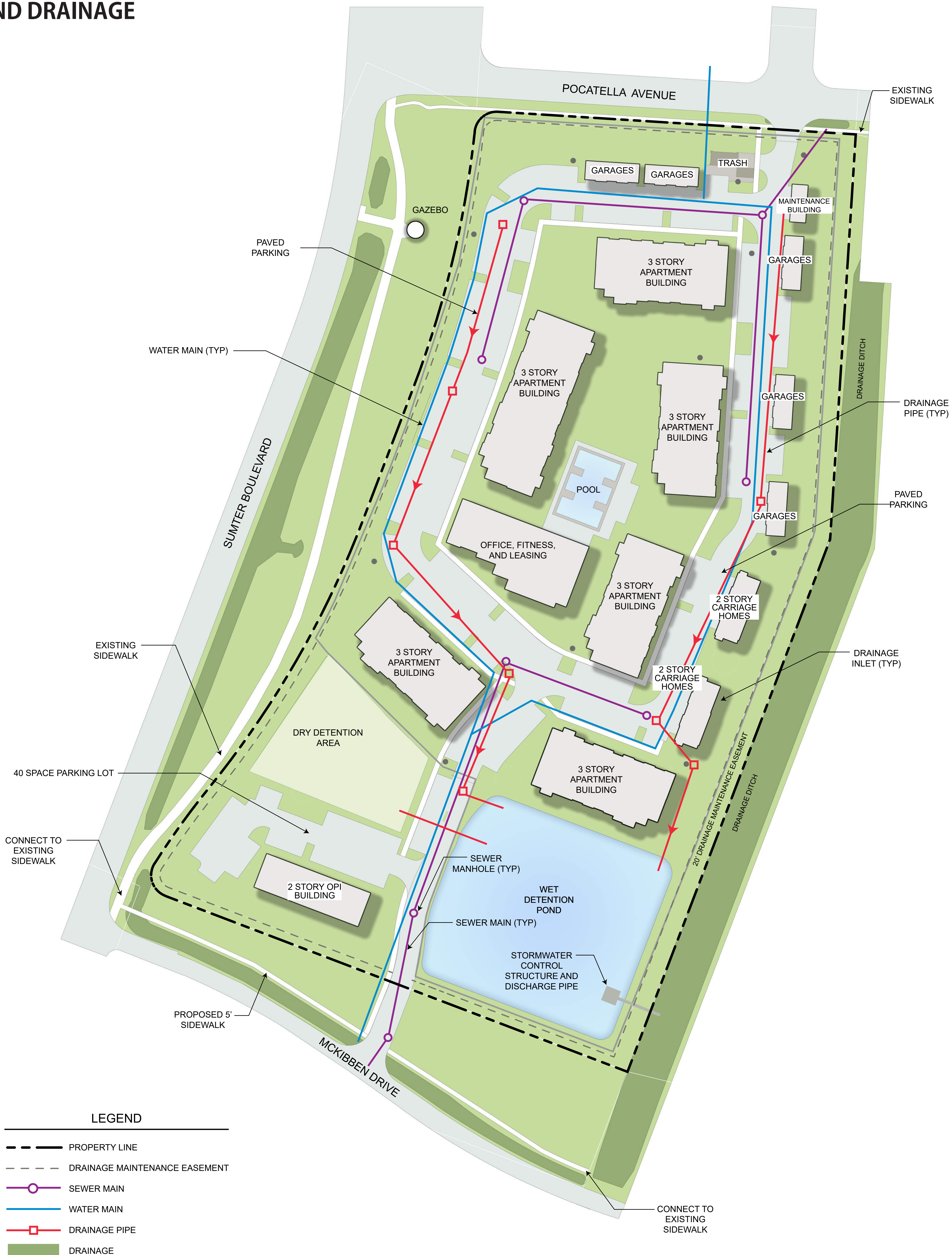
INTERIOR LANDSCAPING SHALL MEET THE REQUIREMENTS PER CHAPTER 21 OF THE ULDC



LEGEND

- PROPERTY LINE
- DRAINAGE MAINTENANCE EASEMENT
- FENCE
- DRAINAGE RIGHT-OF-WAY
- SITE LIGHT POLE
- SIDEWALK
- OPI DESIGNATED AREA

CONCEPTUAL UTILITY AND DRAINAGE

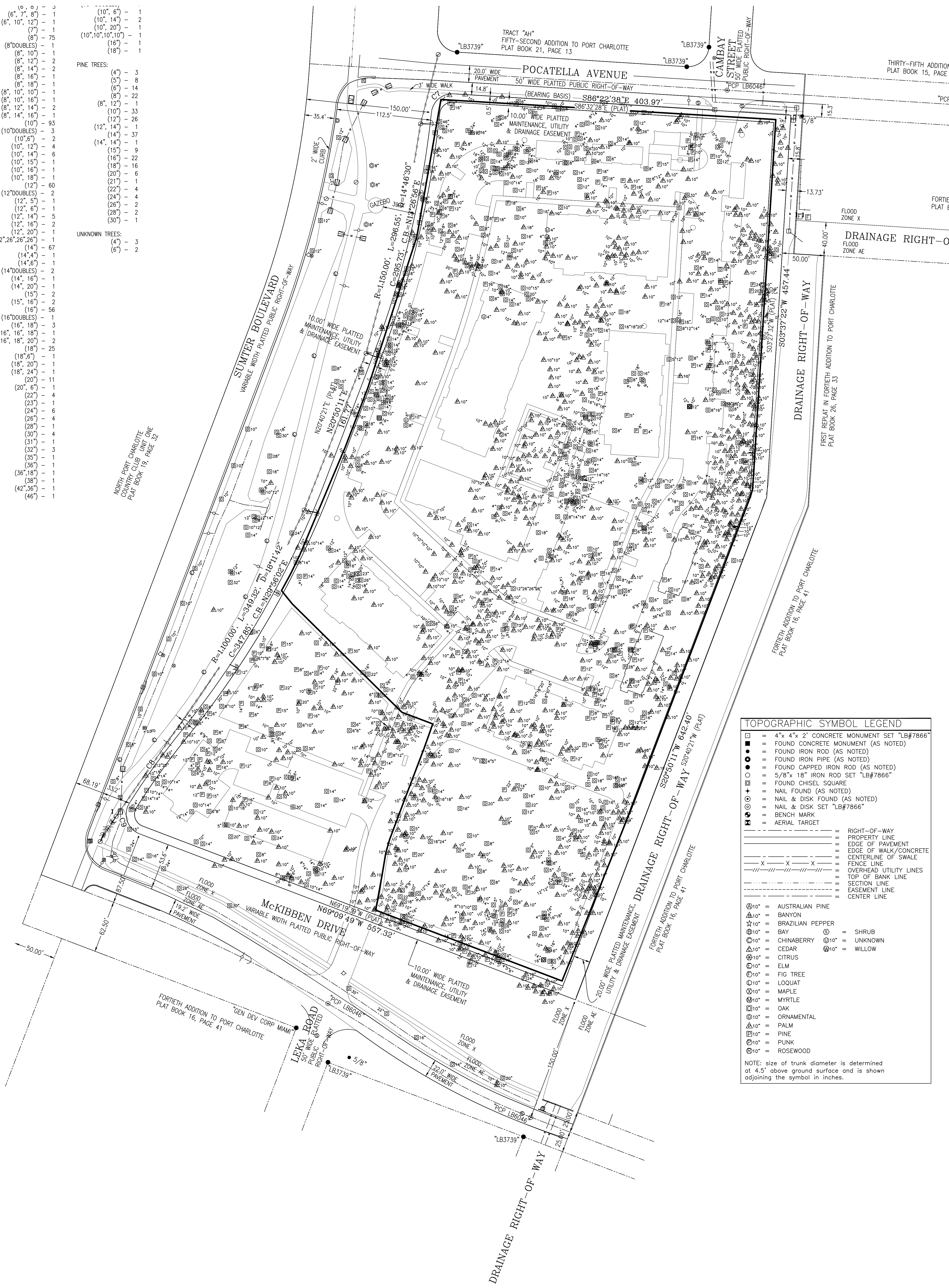


TREE SURVEY OVERLAY

(10, 0)	- 3	(10', 6")	- 1
(6', 7', 8')	- 1	(10', 14")	- 2
(6', 10', 12')	- 1	(10', 20")	- 1
(7')	- 1	(10', 10', 10', 10')	- 1
(8')	- 75	(16')	- 1
(8'DOUBLES)	- 1	(18')	- 1
(8', 10')	- 1		
(8', 12')	- 2		
(8', 14')	- 2		
(8', 16')	- 1		
(8', 18')	- 1		
(8', 10', 10')	- 1		
(8', 10', 16')	- 1		
(8', 12', 14')	- 2		
(8', 14', 16')	- 1		
(10')	- 1		
(10'DOUBLES)	- 93		
(10', 6")	- 3		
(10', 12")	- 2		
(10', 14")	- 6		
(10', 15")	- 1		
(10', 16")	- 1		
(10', 18")	- 1		
(12')	- 60		
(12'DOUBLES)	- 2		
(12', 5")	- 1		
(12', 6")	- 1		
(12', 14")	- 5		
(12', 16")	- 2		
(12', 20")	- 1		
(12', 26", 26", 26")	- 1		
(14')	- 67		
(14', 4")	- 1		
(14', 6")	- 1		
(14'DOUBLES)	- 2		
(14', 16")	- 1		
(14', 20")	- 1		
(15')	- 2		
(15', 16")	- 2		
(16')	- 56		
(16'DOUBLES)	- 1		
(16', 18")	- 3		
(16', 16", 18")	- 1		
(16', 18", 20")	- 2		
(18')	- 25		
(18', 6")	- 1		
(18', 20")	- 1		
(18', 24")	- 1		
(20')	- 11		
(20', 6")	- 1		
(22')	- 4		
(23')	- 1		
(24')	- 6		
(26')	- 4		
(28')	- 1		
(30')	- 4		
(31')	- 1		
(32')	- 3		
(35')	- 1		
(36')	- 1		
(36', 18")	- 1		
(38')	- 1		
(42', 36")	- 1		
(46')	- 1		

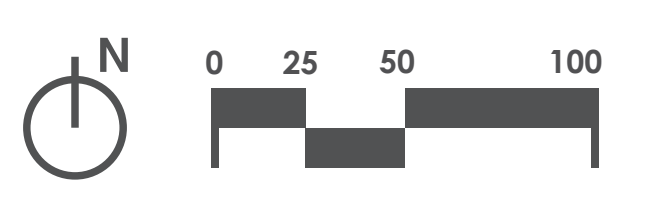
PINE TREES:
 (4") - 3
 (5") - 8
 (6") - 14
 (8") - 22
 (8', 10') - 1
 (10') - 33
 (12') - 26
 (12', 14") - 1
 (14", 14") - 1
 (15") - 9
 (16") - 22
 (18") - 16
 (20") - 6
 (21") - 1
 (22") - 4
 (24") - 4
 (26") - 2
 (28") - 2
 (30") - 1

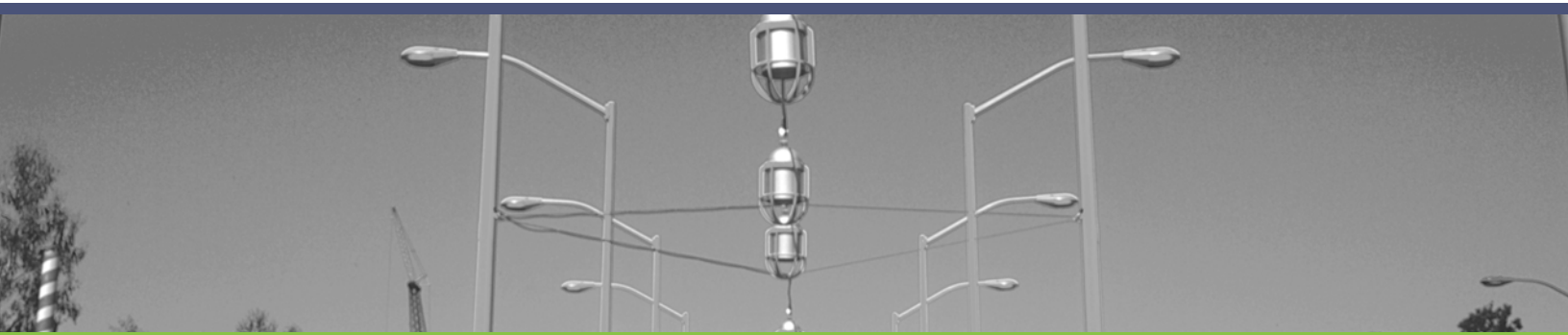
UNKNOWN TREES:
 (4") - 3
 (6") - 2



TOPOGRAPHIC SYMBOL LEGEND	
	4" x 4" x 2" CONCRETE MONUMENT SET "LB#7866"
	FOUND CONCRETE MONUMENT (AS NOTED)
	FOUND IRON ROD (AS NOTED)
	FOUND CAPPED IRON ROD (AS NOTED)
	5/8" x 18" IRON ROD SET "LB#7866"
	FOUND CHISEL SQUARE
	NAIL FOUND (AS NOTED)
	NAIL & DISK FOUND (AS NOTED)
	BENCH MARK
	AERIAL TARGET
	RIGHT-OF-WAY
	PROPERTY LINE
	EDGE OF PAVEMENT
	EDGE OF WALK/CONCRETE
	CENTERLINE OF SWALE
	FENCE LINE
	OVERHEAD UTILITY LINES
	TOP OF BANK LINE
	SECTION LINE
	EASEMENT LINE
	CENTER LINE
	AUSTRALIAN PINE
	BANYON
	BRAZILIAN PEPPER
	BAY
	CHINABERRY
	CEDAR
	CITRUS
	ELM
	FIG TREE
	LOQUAT
	MAPLE
	MYRTLE
	OAK
	ORNAMENTAL
	PALM
	PINE
	PUNK
	ROSEWOOD
	SHRUB
	UNKNOWN
	WILLOW

NOTE: size of trunk diameter is determined at 4.5' above ground surface and is shown adjoining the symbol in inches.





Round Tapered Aluminum Light Poles, Direct Burial

Product Overview

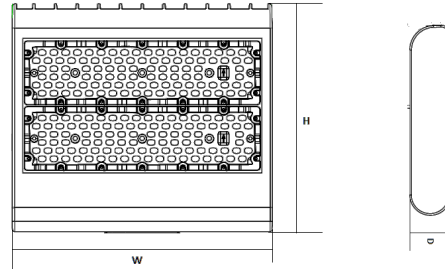
- **Pole Shaft** - The pole shaft is extruded and spun from seamless 6063-T6 aluminum.
- **Pole Top** - A removable top cap is provided for poles receiving drilling patterns for side-mount luminaire arm assemblies. Other pole top options include Tenon Top, Top Cap Only or Open Top which is typical when the pole top diameter matches the necessary slip-fit dimensions.
- **Hand Hole** - A covered hand hole with hardware and grounding provision are provided.
- **Embedment** - Shaft coated inside and outside with zinc rich paint and includes 1.5" grommeted wire way 18" below grade. Anti-Rotation device available as an option.
- **Hardware** - All structural fasteners are galvanized high strength carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.
- **Finish** - Finishes include anodized or painted. Please consult factory for special finishing colors and fixture matching options. When storing light poles outside, remove all protective wrapping immediately upon delivery to prevent finish damage.
- **Design Criteria** - Standard EPA (Effective Projected Area) and weight values are based on Standard Commercial Criteria (with 1.3 gust factor) for side and top mounted fixtures only. Satisfactory performance of light poles is dependent upon the pole being properly attached to a supporting foundation of adequate design.





DIMENSIONS:

11"(H) x 12-5/8"(W) x 3-3/8"(D)



LF3-HL-150W-50K
LF3-HL-150W-30K

LED HIGH LUMEN LF3 FLOOD LIGHTS

Ideal for general site lighting, alleys, loading docks, doorway, pathway, and parking areas.

ELECTRICAL SPECIFICATIONS:

- Voltage: 120~277V
- Wattage: 150W
- Efficacy: 131LM/W ~ 137LM/W
- Power factor: >0.90
- THD: <20%

HOUSING SPECIFICATIONS:

- Die-cast Aluminum housing with powder coat finish (Dark Bronze)
- Operating temperature: -40°F to 104°F
- Lifespan: 70,000 hr.
- IP Rating: IP65
- Effective projected areas (EPA's) are:
Front = 0.38 square feet
Side = 0.30 square feet
Face = 1.05 square feet

CERTIFICATIONS:UL, DLC



*LF3-HL-150W-40K for this project

MODEL	WATTS	VOLTAGE	LUMENS	COLOR TEMP
LF3-HL-150W-50K	150W	120~277V	20680LM	5000K
LF3-HL-150W-30K	150W	120~277V	19700LM	3000K

LIGHTING SPECIFICATIONS:

- Dimmable: 0~10V Dimming
- Lens: TYPE III TIR optic Lens
- LED: Philips Lumileds Luxeon 3030 High flux LED
- Solid state lighting technology for long life, no maintenance needed and high-efficiency
- Cord type: 6' SJTW 18/3 AWG cable
- Total lumens: 20680LM/19700LM
- Color temperature: 5000K/3000K
- Color rendering index: 82~84
- Beam Angle: 120°x90°

WARRANTY: 7 years



LF3-HL-150W-50K
LF3-HL-150W-30K

LED HIGH LUMEN LF3 FLOOD LIGHTS

MOUNTING OPTIONS:

MODEL	WATTS	VOLTAGE	LUMENS	COLOR TEMP
LF3-HL-150W-50K	150W	120~277V	20680LM	5000K
LF3-HL-150W-30K	150W	120~277V	19700LM	3000K



LF3-HL-SF
(Slip fitter)

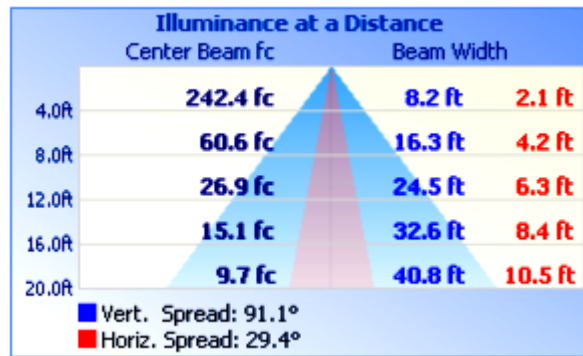
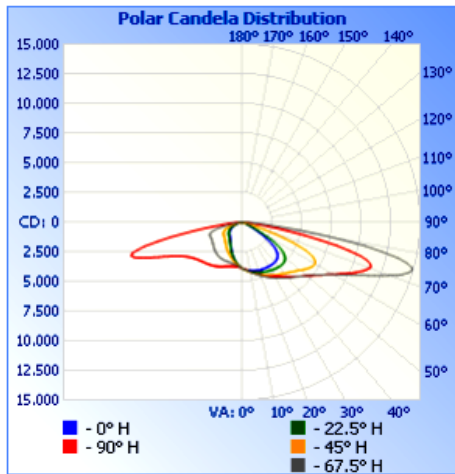


LF3-HL-YK
(Yoke)



LF3-HL-EXTARM
(Straight Arm)

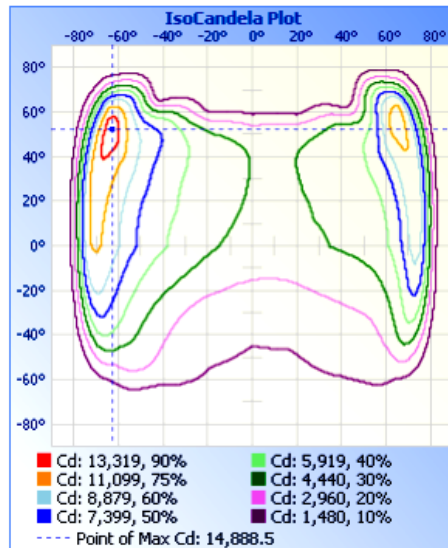
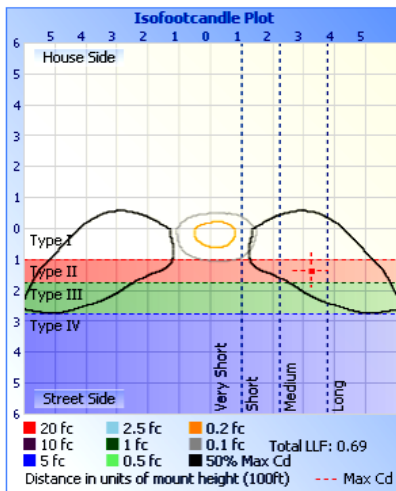
PHOTOMETRIC CHARTS:



LF3-HL-PMR1
(ROUND POLE)



LF3-SH3
(SIDE SHIELD)



LF3-HL-150W-50K
LF3-HL-150W-30K

LED HIGH LUMEN LF3 FLOOD LIGHTS

LENS TYPE OPTIONS:

MODEL	LENS TYPE	BEAM ANGLE	LENS PANELS PER FIXTURE
LF3-HL-TYPEII-150W/230W/300W	TYPEII	120°X90°	4
LF3-HL-TYPEIII-150W/230W/300W	TYPEIII	140°X80°	4
LF3-HL-TYPEIV-150W/230W/300W	TYPEIV	140°X100°	4

MODEL	WATTS	VOLTAGE	LUMENS	COLOR TEMP
LF3-HL-150W-50K	150W	120~277V	20680LM	5000K
LF3-HL-150W-30K	150W	120~277V	19700LM	3000K

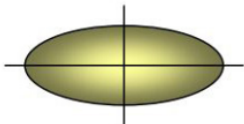
LENS TYPE SPECIFICATIONS:

- Optical PC Precision lenses designed for Westgate LF3 Series Flood Lights
- these lenses are replaceable by the factory or field replaced by installers

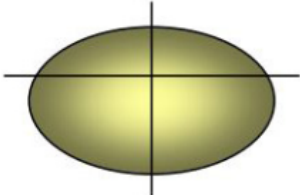
LENS TYPES EXPLAINED

SELECTING THE BEST DISTRIBUTION TYPE FOR YOUR OUTDOOR PROJECT

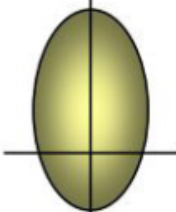
“Distribution Type” defines how far forward of the luminaire (i.e., on the StreetSide) the effective output reaches.



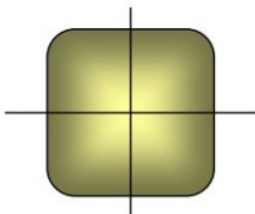
Type 2 is still linear but wider in the front to accommodate 4 lane roadways, or wider drive lanes.



Type 3 (commonly known as a “Bat-Wing”) is suitable for perimeters, often where other interior pole placements fill the site



Type 4 (commonly known as a “Forward Throw” or Asymmetric) is best along perimeters where spill light is a concern or there are no place to add poles within a site.



Type 5 – is available in a round or square pattern. Best suited for interior areas within a site or on the median of 4-6 lane roadways.

Rev. 2018-05-10





December 28, 2021

Peter T. Van Buskirk
Kimley-Horn
1412 Jackson St, Suite 2
Fort Myers, FL 33901

Willingness to Serve Water, Sewer and eventually Reclaimed Water

RE: Property at PID 1001-16-0001

Dear Mr. Van Buskirk:

As requested, the City of North Port Utilities Department is submitting this letter to inform you of Service Availability for the above referenced property.

This project is within the City of North Port's "City" urban service boundary area and the City is willing to provide water, sanitary sewer and eventually reclaimed water capacity to the project. Currently, the City has capacity at its water treatment plant and sewage treatment plant to provide capacity for this project. The capacity will be made available at the time of payment for capacity, if applicable and may require contributions by the developer and/or the property owner. Although the City has capacity to serve this project, certain on-site and off-site utility improvements must be completed by the owner/developer and accepted by the City prior to water and wastewater service being available to this specific site.

The City does not guarantee or reserve capacity to any project unless the owner/developer enters into a Utility Agreement with the City, which may require approval by the City Commission or make full payment on capacity and connection fees if a developer's agreement is not required.

Before a building permit can be issued, an application for service, capacity fees and deposits will be required, and the builder must provide a plumbing plan, which is required on any non-residential structures to the City's Utility Department for calculation of appropriate capacity fees and meter size. The City will not release a building permit until the required fees have been paid.

Our staff looks forward to working with you in the future to further develop plans for your utility needs. If you have any questions or require additional information, please do not hesitate to contact our office.

Sincerely,
NORTH PORT UTILITIES

A handwritten signature in cursive script that reads "Michelle Tipp".

Michelle Tipp
Utilities Business Manager

CC: Jennifer Desrosiers, Assistant Utilities Director
Michael Acosta, Engineering Division Manager
Darrell Smith, Utilities Construction Supervisor



Achieve Anything

www.cityofnorthport.com

North Port Utilities: 941.240.8000, 6644 W. Price Boulevard, North Port, FL 34291-4106



October 6, 2023

Zia Butt
4950 Pocatella Avenue
North Port, FL, 34287

Dear Mr. Butt,

Pursuant to Section 53-258 A. of the City of North Port Unified Land Development Code, this letter is to inform you that a Public Hearing to consider Petition Number SPX-23-139, Pocatella Multi-Family Special Exception, is scheduled to be heard before the North Port City Commission on **Tuesday, November 14, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

If you need additional information or further assistance concerning the public hearing process, please contact the Planning and Zoning Division at 941-429-7098.

Sincerely,



Sherry Willette-Grondin, Planner III
Development Services Department
Planning & Zoning Division

cc: Alaina D. Ray, AICP, Development Services Director

Lori Barnes, AICP, CPM, Assistant Director, Development Services
Project File



October 6, 2023

Kelley Klepper, AICP, Vice President
Kimley-Horn
1777 Main Street, Suite 200
Sarasota, FL 34236

Dear Mr. Klepper,

Pursuant to Section 53-258 A. of the City of North Port Unified Land Development Code, this letter is to inform you that a Public Hearing to consider Petition Number SPX-23-139, Pocatella Multi-Family Special Exception, is scheduled to be heard before the North Port City Commission on **Tuesday, November 14, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard.

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Development Services Department
Planning & Zoning Division

cc: Alaina D. Ray, AICP, Development Services Director
Lori Barnes, AICP, CPM, Assistant Director, Development Services
Project File
Peter Van Buskirk, AICP, Kimley-Horn, Project Manager



October 6, 2023

Joseph Holt
675 Ponce de Leon Avenue NE
Suite 8500
Atlanta, GA 30308

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Sincerely,

Sherry
Willette

Digitally signed by Sherry
Willette
Date: 2023.10.06
10:38:00 -04'00'

Sherry Willette-Grondin, Planner III
Development Services Department
Planning & Zoning Division

cc: Alaina D. Ray, AICP, Development Services Director
Lori Barnes, AICP, CPM, Assistant Director, Development Services
Project File
Peter Van Buskirk, AICP, Kimley-Horn, Project Manager



August 28, 2023

Zia Butt
4950 Pocatella Avenue
North Port, FL, 34287

Dear Mr. Butt,

Pursuant to Section 53-258 A. of the City of North Port Unified Land Development Code, this letter is to inform you that the Public Hearings to consider Petition Number SPX-23-139, Pocatella Multi-Family Special Exception, is scheduled to be heard before the Planning and Zoning Advisory Board designated as the Local Planning Agency (LPA) on **Thursday, September 21, 2023 at 9:00 a.m.** or as soon after and before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard.

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Sincerely,

Sherry
Willette

Digitally signed by Sherry
Willette
Date: 2023.08.28
17:08:37 -04'00'

Sherry Willette-Grondin, Planner III
Development Services
Planning & Zoning Division

cc: Alaina D. Ray, AICP, Development Services Director
Lori Barnes, AICP, CPM, Assistant Director, Development Services
Project File



August 28, 2023

Joseph Holt
675 Ponce de Leon Avenue NE
Suite 8500
Atlanta, GA 30308

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Sincerely,

Sherry
Willette

Digitally signed by Sherry
Willette
Date: 2023.08.29
08:24:21 -04'00'

Sherry Willette-Grondin, Planner III
Development Services
Planning & Zoning Division

cc: Alaina D. Ray, AICP, Development Services Director
Lori Barnes, AICP, CPM, Assistant Director, Development Services
Project File

PUBLIC NOTICE – CITY OF NORTH PORT

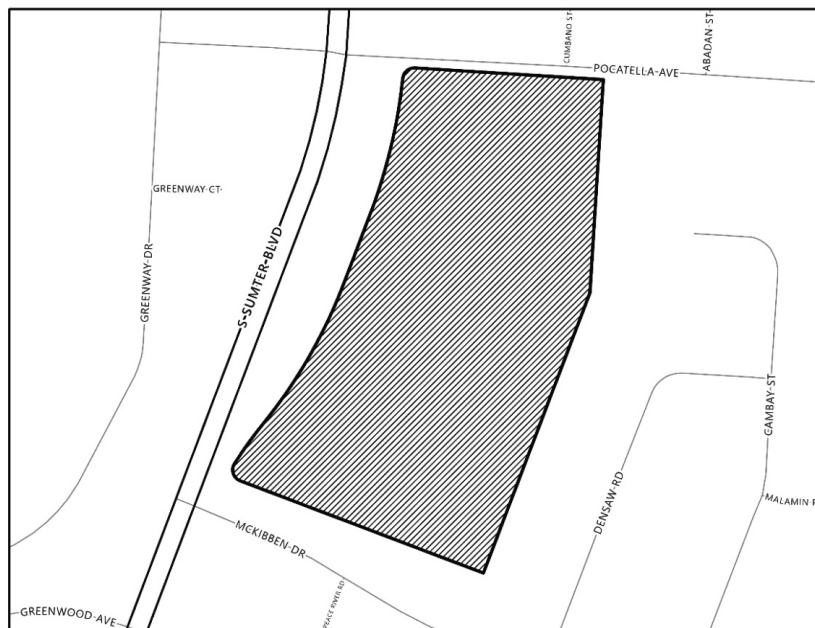
NOTICE OF PUBLIC HEARING FOR RESOLUTION NO. 2023-R-52

Notice is hereby given pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via **SPX-23-139** on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be held to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.



Note: Proposed Resolution No. 2023-R-52 (boundary of the subject property) as depicted on this map. The proposed site consists of \pm 11.7 acres ("Subject Property") and is located at the southeast corner of Sumter Boulevard and Pocatella Avenue, north of McKibben Drive, described as Tract D, First Replat in 40th Addition to Port Charlotte Subdivision, as recorded in Plat Book 26, Page 33, of the Official Records of Sarasota County, Florida, with Sarasota County Property Appraiser's Parcel Identification Number 1001160001.

All interested parties are invited to appear and be heard with respect to this Ordinance at the public hearings in the City Hall Commission Chambers. Written comments filed with the Planning and Zoning Advisory Board will be heard and considered and will be made a matter of public record at this meeting. These public hearings may be continued from time to time as announced at the hearings, as may be found necessary. The file pertinent to Resolution No. 2023-R-52, SPX-23-139, may be inspected by the public at the Neighborhood Development Services Department, Planning and Zoning Division, and in the City of North Port City Clerk's Office, 4970 City Hall Boulevard, North Port, Florida 34286, during regular business hours.

NO STENOGRAPHIC RECORD BY A CERTIFIED COURT REPORTER IS MADE OF THESE MEETINGS. ACCORDINGLY, ANY PERSON WHO MAY SEEK TO APPEAL A DECISION INVOLVING THE MATTERS NOTICED HEREIN WILL BE RESPONSIBLE FOR MAKING A VERBATIM RECORD OF THE TESTIMONY AND EVIDENCE AT THESE MEETINGS UPON WHICH ANY APPEAL IS TO BE BASED (SEE F.S.S. 286.0105).

NOTE: PERSONS WITH DISABILITIES NEEDING ASSISTANCE TO PARTICIPATE IN ANY OF THESE PROCEEDINGS SHOULD CONTACT THE CITY CLERK'S OFFICE 48 HOURS IN ADVANCE OF THE MEETING (SEE F.S.S. 286.26).

NONDISCRIMINATION: The City of North Port does not discriminate on the basis of race, color, national origin, sex, age, disability, family or religious status in administration of its programs, activities or services.

AMERICAN WITH DISABILITIES ACT OF 1990 - The North Port City Hall is wheelchair accessible. Special parking is available on the west side of City Hall and the building may be accessed from the parking area. Persons with hearing difficulties should contact the City Clerk to obtain a hearing device for use during meetings.

/s/
Heather Faust, MMC
City Clerk

Publish: Tuesday, September 5, 2023

PUBLIC NOTICE – CITY OF NORTH PORT

NOTICE OF PUBLIC HEARING FOR RESOLUTION NO. 2023-R-52

Notice is hereby given, the North Port City Commission will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via **SPX-23-139**.

The public hearing will be held before the North Port City Commission on **Tuesday, November 14, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

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Exhibit H

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/s/

Heather Faust, MMC
City Clerk

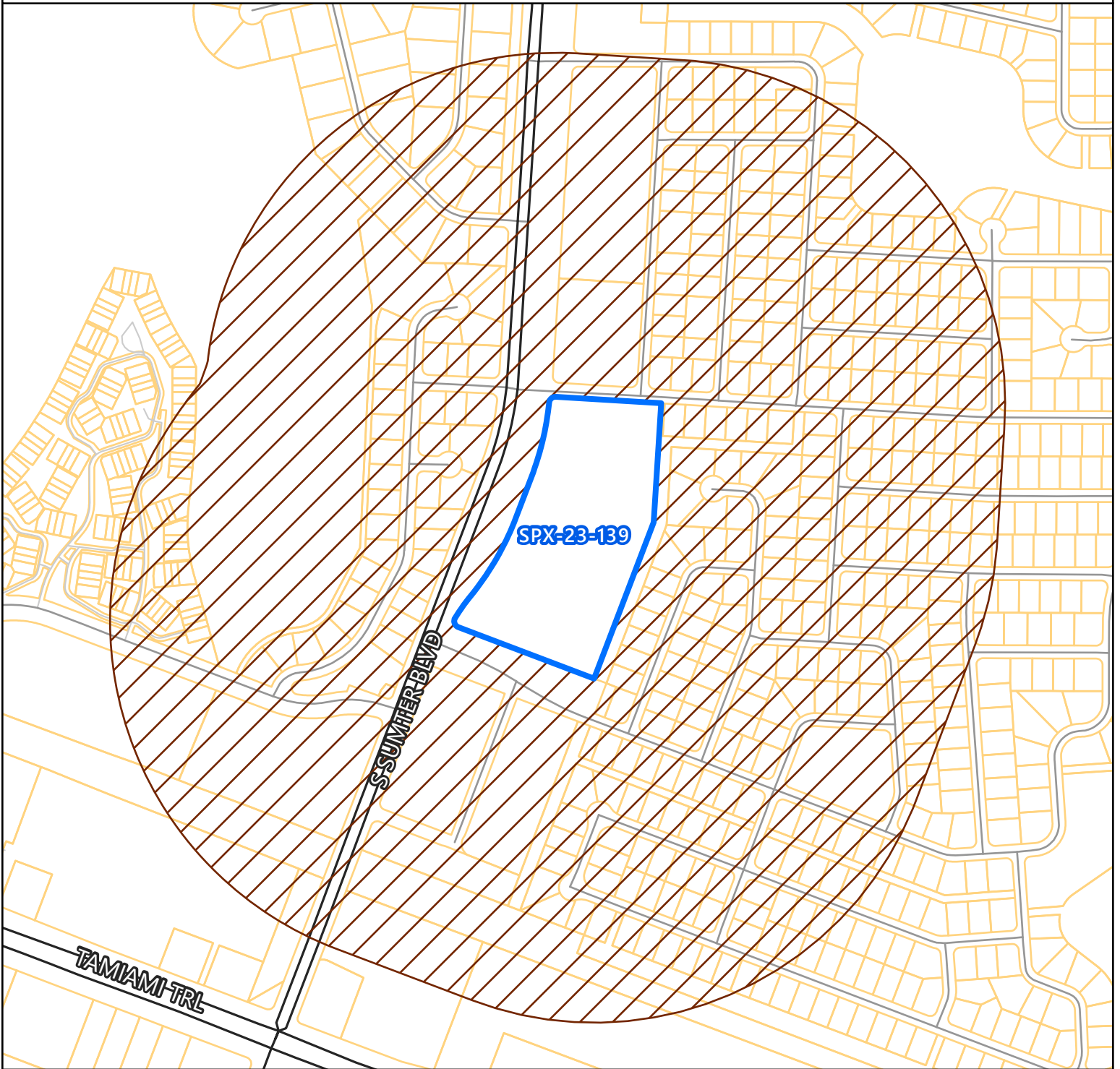
Publish: Tuesday, October 31, 2023

Ad Size: headline 18-point, size 4 x 10

E-mailed to NP Sun: Friday, October 27, 2023

Please furnish proof of publication to: swillette@northportfl.gov ; mdipompo@northportfl.gov

Buffer Map (1,320 foot distance from property)



- Petition Boundary
- Buffer
- Parcels

North Port Streets

- Arterial
- Local
- Private



Prepared on 8/9/2023
by NDS / Planning Division

Disclaimer: This map is for reference purposes only and is not to be construed as a legal document. Any reliance on the information contained herein is at the user's risk. The City of North Port and its agents assume no responsibility for any use of the information contained herein or any loss resulting therefrom.



City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, the North Port City Commission will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139.

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«NAME1»
 «NAME_ADD2»
 «NAME_ADD3»
 «NAME_ADD4»
 «NAME_ADD5»
 «CITY», «STATE» «ZIP»
 «COUNTRY»

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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TOIVONEN KENT W (E LIFE EST)
 TOIVONEN BEVERLY A (E LIFE EST)
 157 BEEK RD

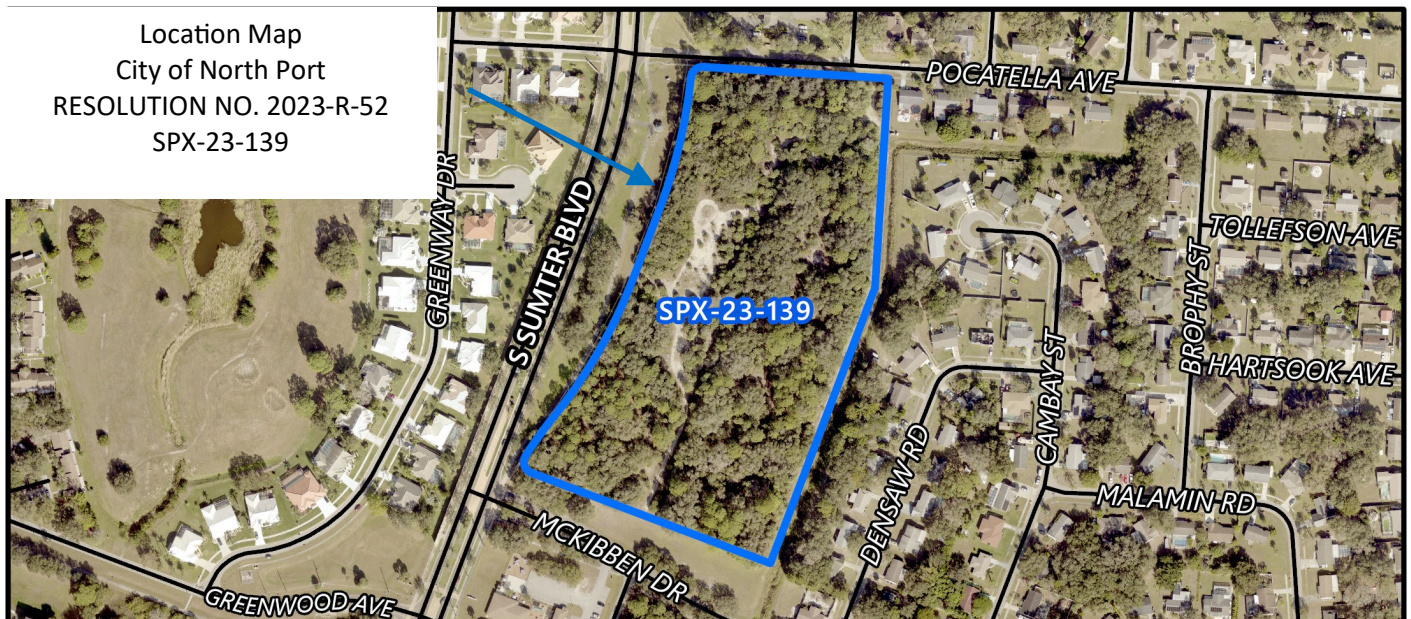
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MERRICKVILLE, ON KOG 1N0

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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ISAACKSZ CLAUDE
 ISAACKSZ MARLENE
 23 BRANT STREET UNIT 1102

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TORONTO, ON M5V 2L5

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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VEZMAR MILORAD

24 SOUTHPORT ST #255

TORONTO, ON M6S 4Z1

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
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**PUBLIC NOTICE - CITY OF NORTH PORT
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 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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EDWARDS GARY
 EDWARDS METZA

9 CARRINGTON POINTE

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GREENBRIAR, AR 72058

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
Neighborhood Development Services
Planning & Zoning Division
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**PUBLIC NOTICE - CITY OF NORTH PORT
NOTICE OF PUBLIC HEARINGS
FOR RESOLUTION NO. 2023-R-52
SPX-23-139**

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HOME SFR BORROWER IV LLC

PO BOX 4090

SCOTTSDALE, AZ 85261-4090

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Location Map
City of North Port
RESOLUTION NO. 2023-R-52
SPX-23-139



City of North Port - Location Map
SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
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HOME SFR BORROWER LLC

PO BOX 4090

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SCOTTSDALE, AZ 85261-4090

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 SPX-23-139**

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MONEDERO COURTNEY
 MONEDERO SARAH
 1336 ONSTOTT RD
 LOMPOC, CA 93436

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 Planning & Zoning Division
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 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

BODNAR SERGIY
 TITARCHUK LARISA

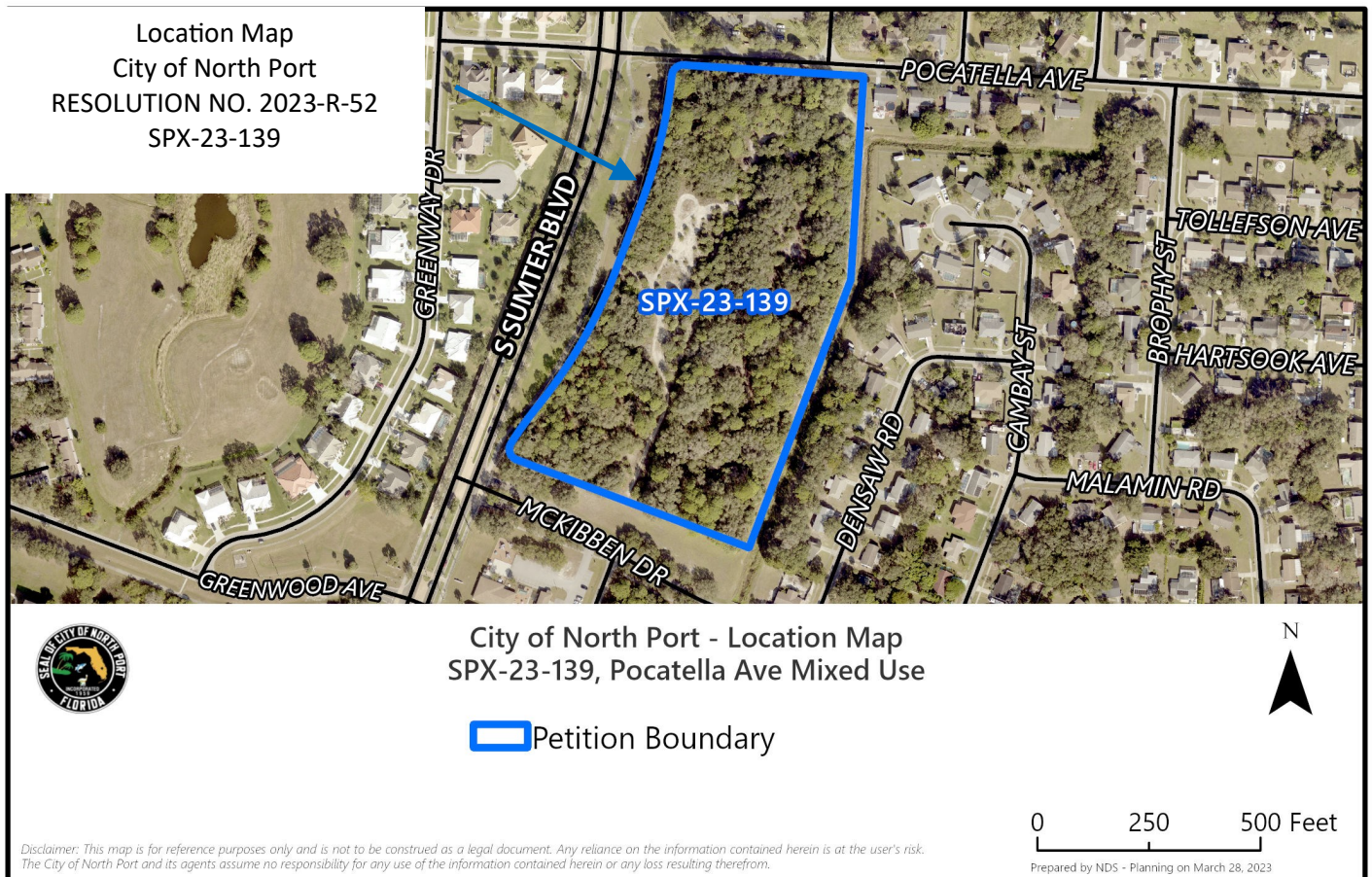
4137 GOTHBERG AVE N

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NORTH HIGHLANDS, CA 95660

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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GOMENYUK LILIYA

3931 WARD AVE

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City of North Port
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LULKA VERA

2066 MILL PLAIN RD

FAIRFIELD, CT 06824-3029

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City of North Port
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SREIT GRANDE COURT SARASOTA LLC

C/O STARWOOD CAPITAL GROUP GLOBAL LP
 591 W PUTNAM AVE

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
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MARSH ALAN
 ELLIS MATTHEW

128 FOREST ST

STAMFORD, CT 6901

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
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City of North Port - Location Map
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0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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KEMBER DAVID G

16478 4TH AVE NE

BRADENTON, FL 34208

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THE BUYING COMPANY LLC

PO BOX150970

CAPE CORAL, FL 33915

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LIMASOL PROPERTIES LP

1448 NW 111TH WAY

CORAL SPRINGS, FL 33071

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City of North Port
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 Planning & Zoning Division
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ARIAS FERNANDO EZEQUIEL
 LATYSHEVA HANNA OLEGOVNA

6507 ROCK BRIDGE LN

ELLENTON, FL 34222

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KRINKE PROPERTIES LLC

2090 FLORIDA AVE

ENGLEWOOD, FL 34224

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City of North Port
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 Planning & Zoning Division
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BIZZY BIZ CLEANUP AND GRADING INC

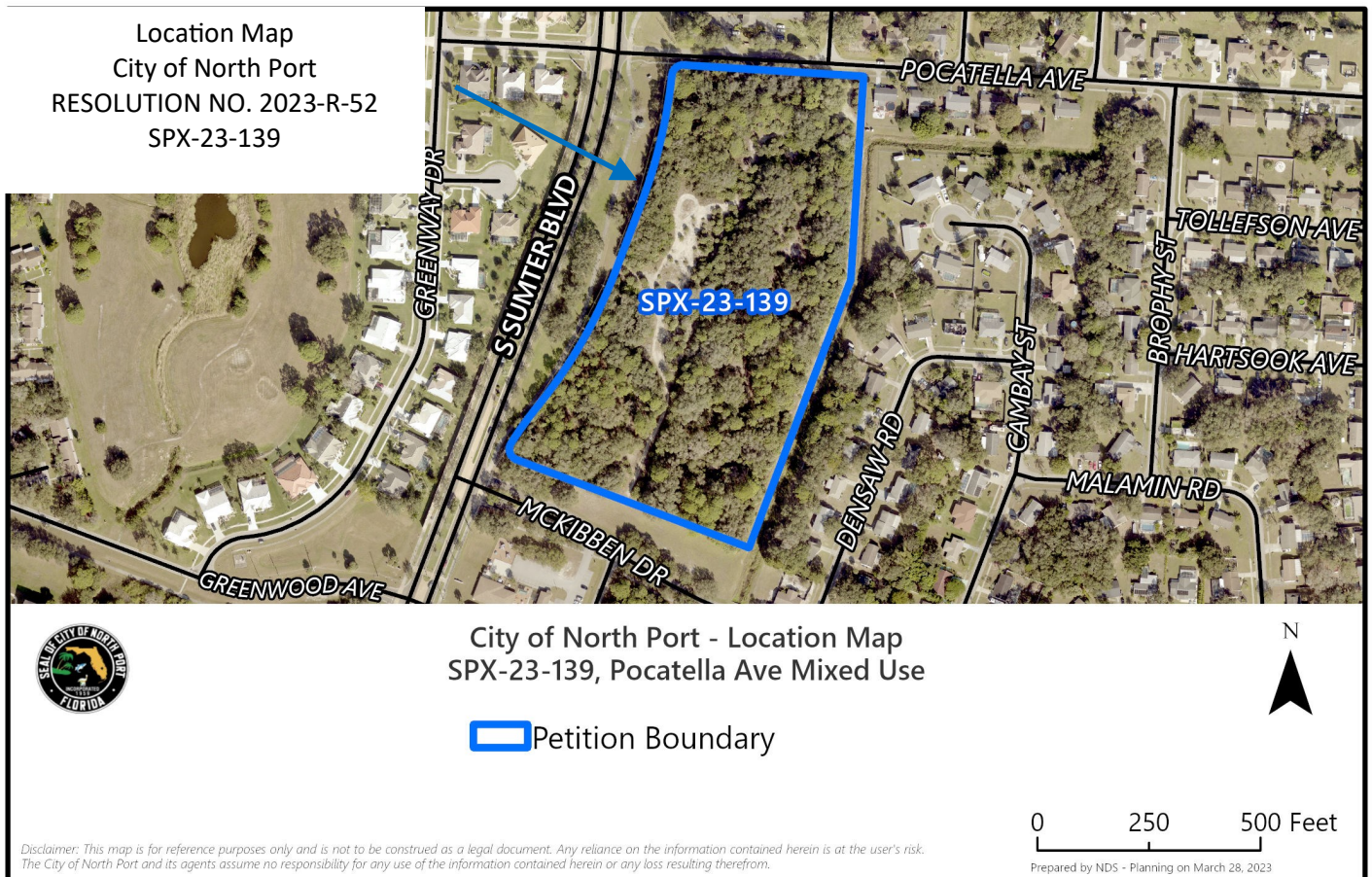
1375 JACKSON ST STE 406

FORT MYERS, FL 33901

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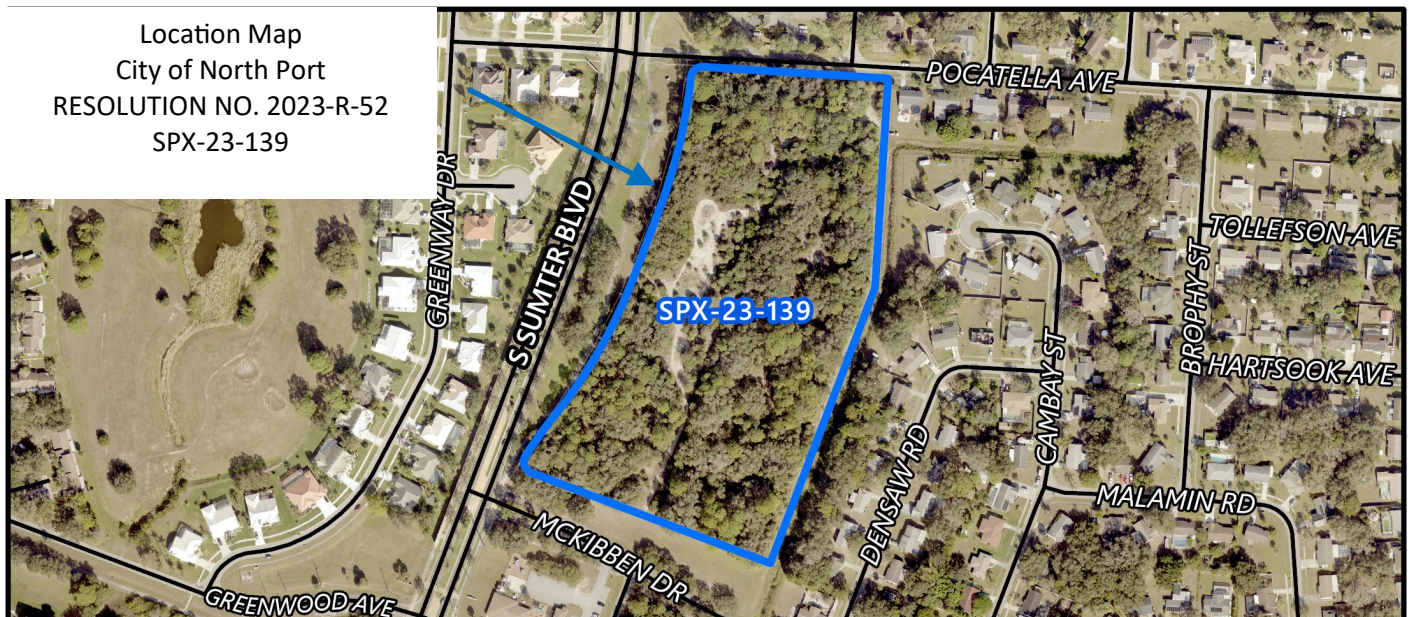
COMMUNITY DEVELOPMENT GROUP
 INC

555 NW 95 ST

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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ACOSTA BLAS
 ACOSTA SILVIA
 CASIANO-ACOSTA MARIA R
 4532 TOLLEFSON AVE

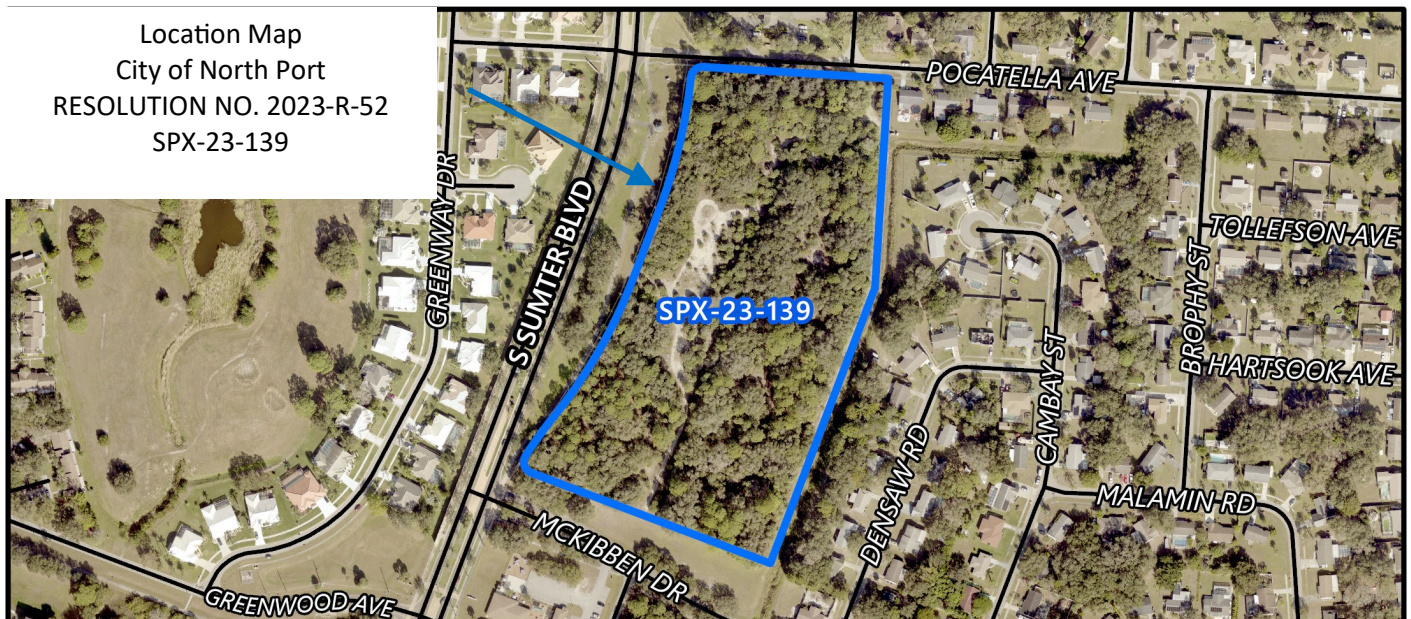
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NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use



 Petition Boundary

0 250 500 Feet

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City of North Port
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 Planning & Zoning Division
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ACOSTA GEORGE S (E LIFE EST)
 BALDIZZI-ACOSTA ANITA (E LIFE EST)
 4654 PAYNE ST
 NORTH PORT, FL 34287

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City of North Port
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AFONSO CHARLES R
 AFONSO MARGARET M
 6320 SAFFORD TER

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NORTH PORT, FL 34287-2028

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
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AFRIAT CHARLES

4781 POCATELLA AVE

NORTH PORT, FL 34287

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 SPX-23-139**

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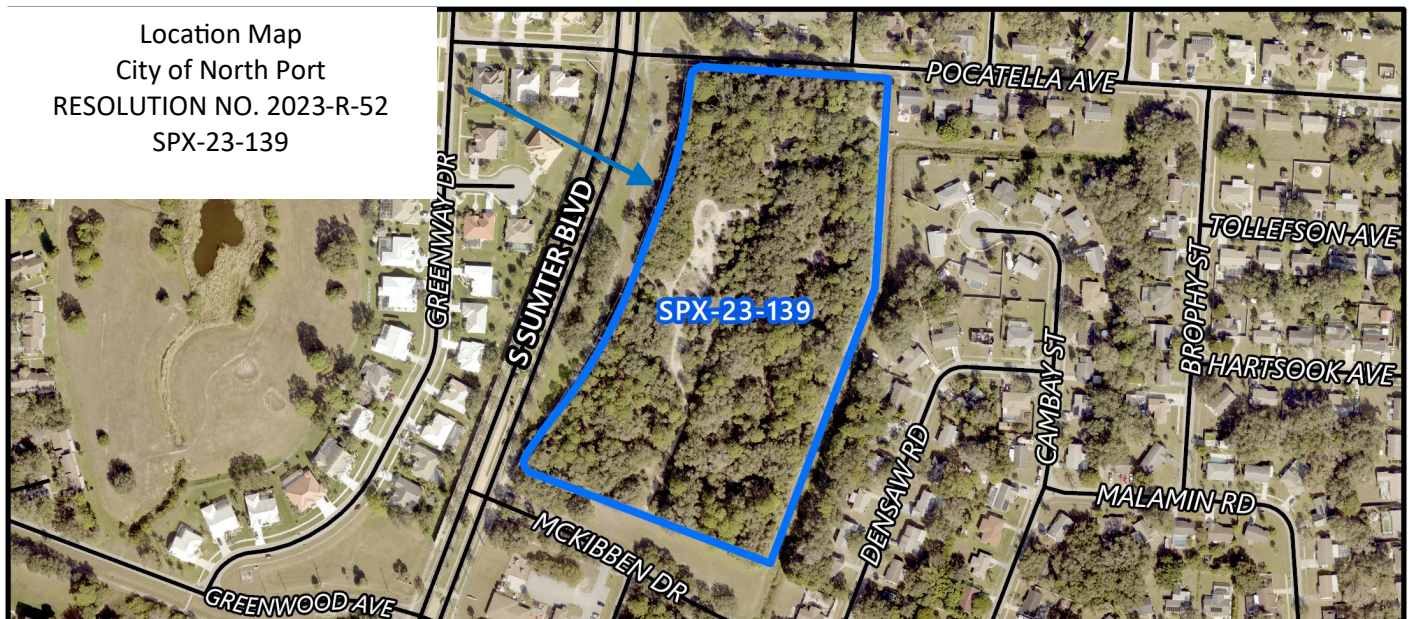
AINSCO MARK (LIFE EST)
 AINSCO RANEE (LIFE EST)
 STEELE SR SAMUEL W
 4692 POCATELLA AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2326

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.



Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

ALEGRIA MIGUEL LEAL

5430 MALAMIN RD

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

ALEXANDER VERNON M (E LIFE EST)
 ALEXANDER SUSAN M (E LIFE EST)

4722 ABADAN ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

ANDACS AGOSTON TIBOR

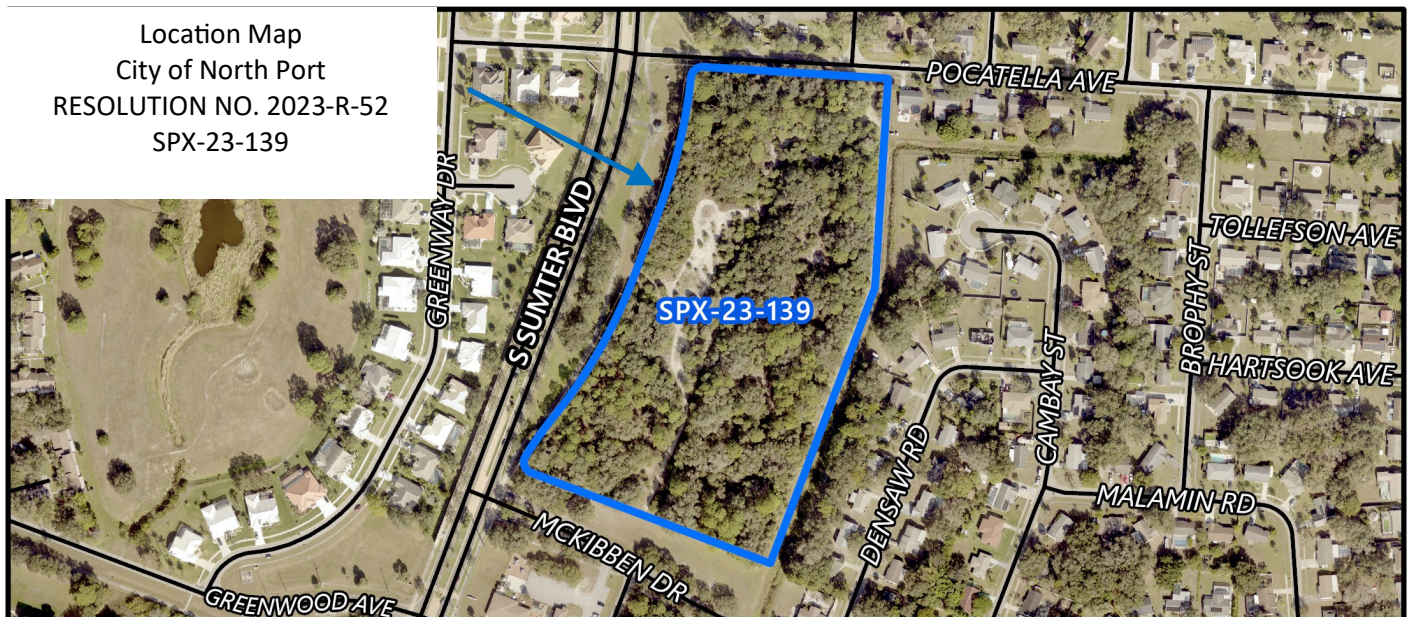
8680 CHESEBRO AVE

NORTH PORT, FL 34287-5403

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

ANDERSON DAVID E
 ANDERSON MARGARET A

4441 BARODA AVE

NORTH PORT, FL 34287-2876

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

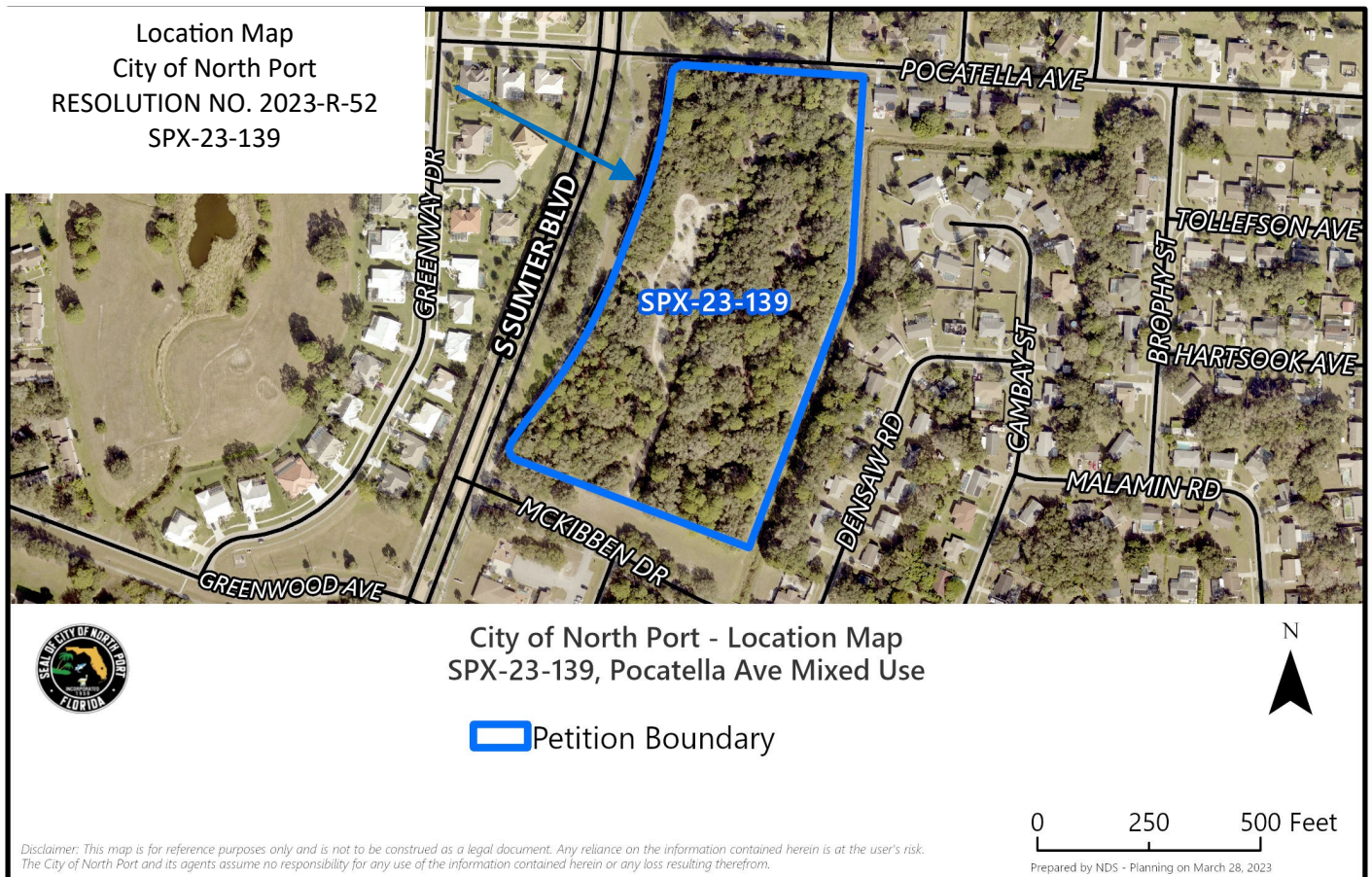
ANDRES ROBERT J
 ANDRES ELIZABETH A
 4534 HARTSOOK AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2852

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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AUDETTE ROLAND C
 AUDETTE LISA M
 4598 MARALDO AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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BAIRD AUSTIN

4566 MONGITE RD

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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BAKER PRISCILLA PAM MC KINNEY
 BAKER WENDRETH PAIGE

4533 HARTSOOK AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use



 Petition Boundary

0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

BAPTISTA DONNA BILADEAU

4488 POCATELLA AVE

NORTH PORT, FL 34287-2833

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

BARAN BARBARA
 BARAN KRZYSZTOF JAKUB

5615 BLIFFERT ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2874

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

BARTOLOTTA ADAM
 BARTOLOTTA DANETTE
 4550 MONGITE RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2821

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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BAYER JENNIFER LYNN

5390 MALAMIN RD

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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BELYEU BARBARA L

5075 BROPHY ST

NORTH PORT, FL 34287-2873

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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BILADEAU-BAPTISTA DONNA J

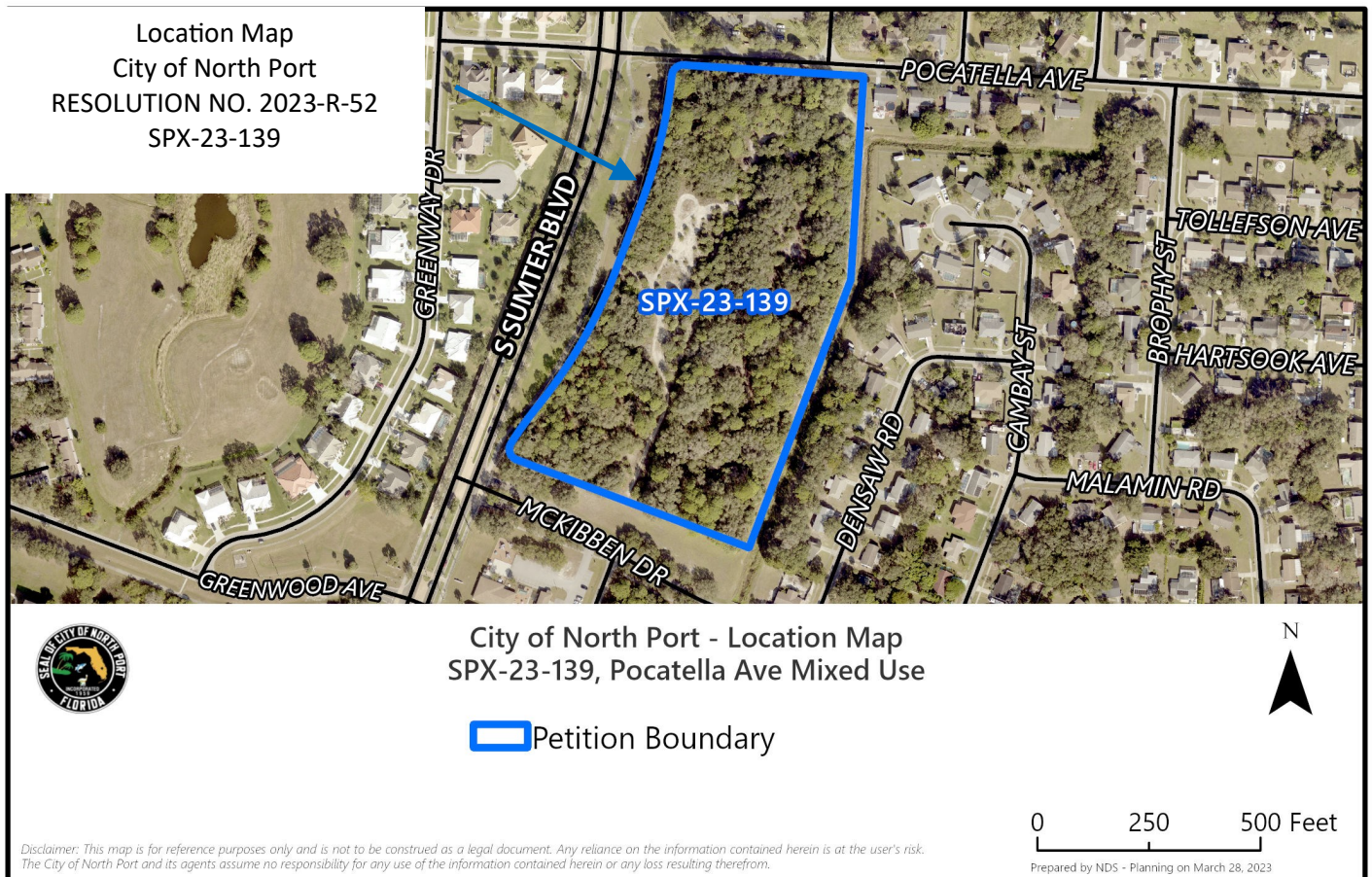
4488 POCTELLA AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
Neighborhood Development Services
Planning & Zoning Division
4970 City Hall Boulevard
North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
NOTICE OF PUBLIC HEARINGS
FOR RESOLUTION NO. 2023-R-52
SPX-23-139**

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BILIK BORIS
BILIK OKSANA
3419 TOWN TER

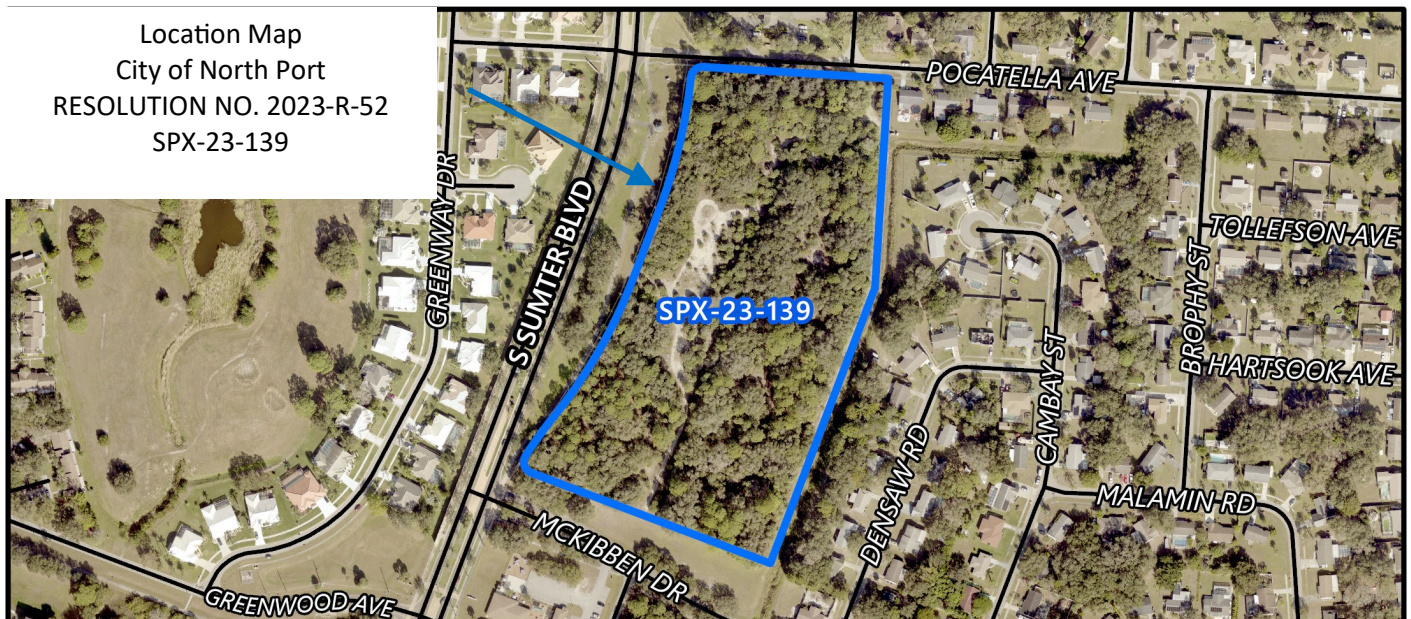
A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34286-4333

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
City of North Port
RESOLUTION NO. 2023-R-52
SPX-23-139



City of North Port - Location Map
SPX-23-139, Pocatella Ave Mixed Use



 Petition Boundary

0 250 500 Feet

Disclaimer: This map is for reference purposes only and is not to be construed as a legal document. Any reliance on the information contained herein is at the user's risk. The City of North Port and its agents assume no responsibility for any use of the information contained herein or any loss resulting therefrom.



City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

BOBIC GENE LEE

4811 ABADAN ST

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

BOWERS DEBRA

5988 PANORAMA LN

NORTH PORT, FL 34287-3104

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

BOWERSOX KURTIS A

4537 MARALDO AVE

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

BRIGHT ROGER
 BRIGHT JOHNETTA

5036 GREENWAY CT

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-3144

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

BROMLEY DONALD J
 BROMLEY BARBARA J
 5684 LINKSMAN PL

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-3135

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

BROOKS JOHNNY D
 BARRETT CHRISTINE L
 4518 MARALDO AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

BROWN CRAIG A
 BROWN KELLY A
 5699 BLIFFERT ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2874

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

BROWN IRIS E (E LIFE EST)

4404 TOLLEFSON AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2808

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

Disclaimer: This map is for reference purposes only and is not to be construed as a legal document. Any reliance on the information contained herein is at the user's risk. The City of North Port and its agents assume no responsibility for any use of the information contained herein or any loss resulting therefrom.



City of North Port
Neighborhood Development Services
Planning & Zoning Division
4970 City Hall Boulevard
North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
NOTICE OF PUBLIC HEARINGS
FOR RESOLUTION NO. 2023-R-52
SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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BROWNA LEONARD

5225 BROPHY ST

NORTH PORT, FL 34287

Location Map
City of North Port
RESOLUTION NO. 2023-R-52
SPX-23-139



City of North Port - Location Map
SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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BROWNELL DENNIS D

4954 PAYNE ST

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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BURBOL BOB R

5164 CAMBAY ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2818

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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BURGESS GARRY W
 BURGESS DUANNE M
 4470 HARTSOOK AVE
 NORTH PORT, FL 34287-2852

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

BUTORAC GREGORY P
 BUTORAC MARION
 4803 BATCHELOR AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2320

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
Neighborhood Development Services
Planning & Zoning Division
4970 City Hall Boulevard
North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
NOTICE OF PUBLIC HEARINGS
FOR RESOLUTION NO. 2023-R-52
SPX-23-139**

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BUTT ZIA

4950 POCATELLA AVE

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
City of North Port
RESOLUTION NO. 2023-R-52
SPX-23-139



City of North Port - Location Map
SPX-23-139, Pocatella Ave Mixed Use



 Petition Boundary

0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CAPSUTO AMANDA R
 CAPSUTO BRUCE D

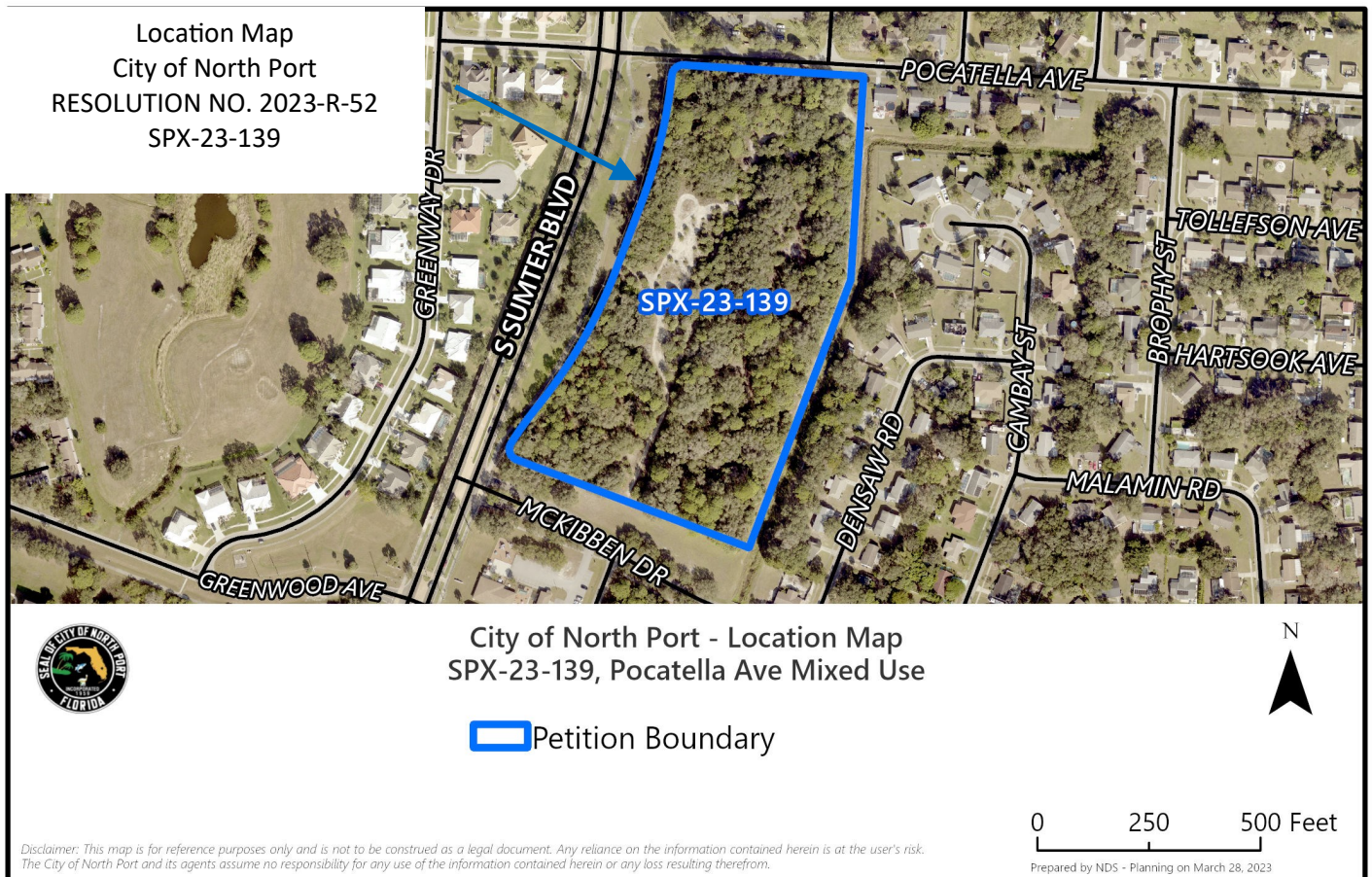
4493 MCKIBBEN DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2824

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CAPUTO DANIEL

4631 POCATELLA AVE

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CHAMBERLAIN IRIS
 CHAMBERLAIN DANIEL WEBSTER III
 4535 MC KIBBEN DR
 NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

CHAMBERS-GILBERT MARIA ALEXANDRA

5731 BEAUMONT LOOP

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CHAPMAN STACY

4575 MCKIBBEN DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2824

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CHEESEMAN MAUDE D
 CHEESEMAN MATTHEW

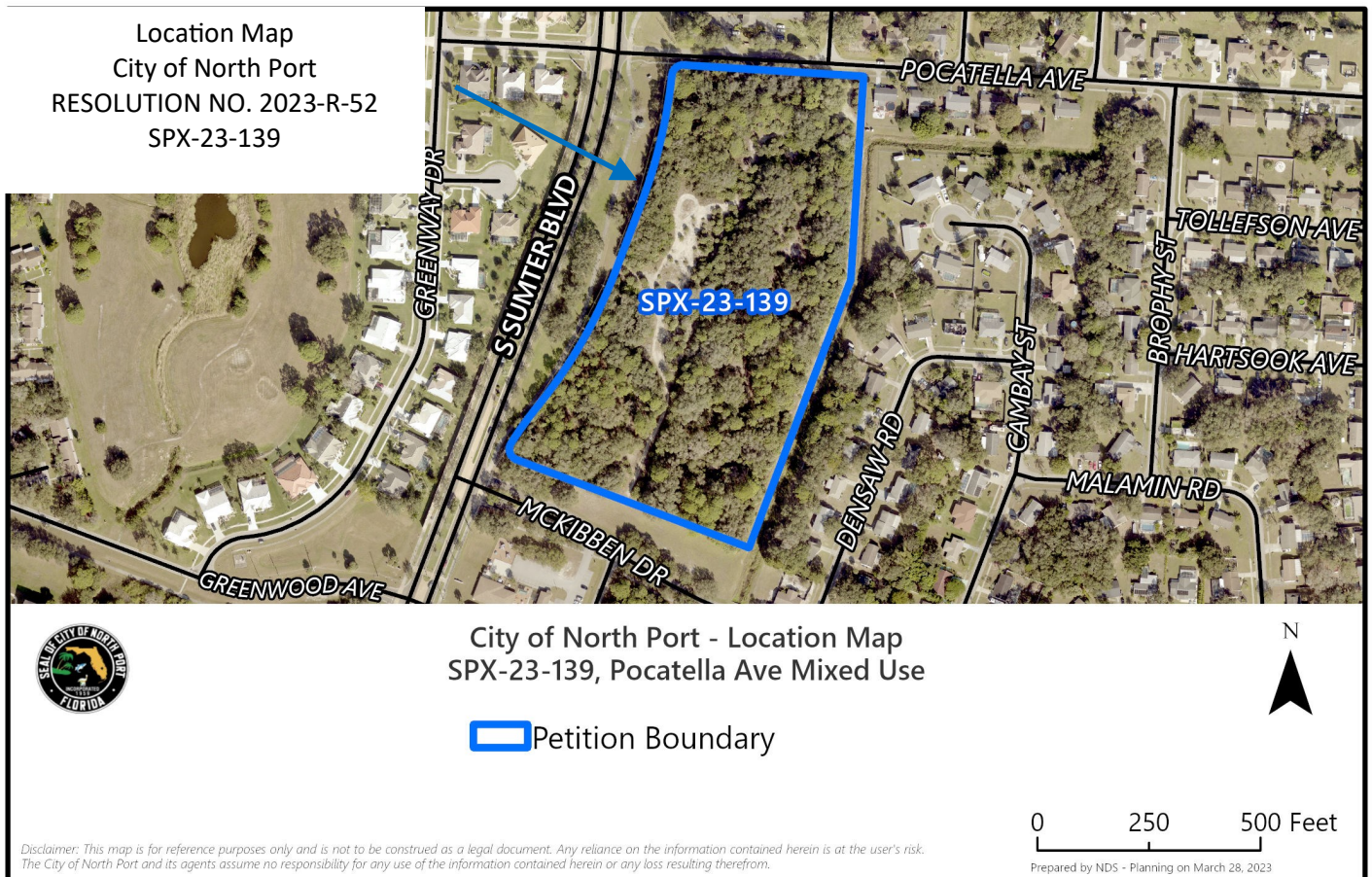
4502 HARTSOOK AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2852

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CHEFFY TAYLIN

5761 BEAUMONT LOOP

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

CHLEBOWSKI RITA A

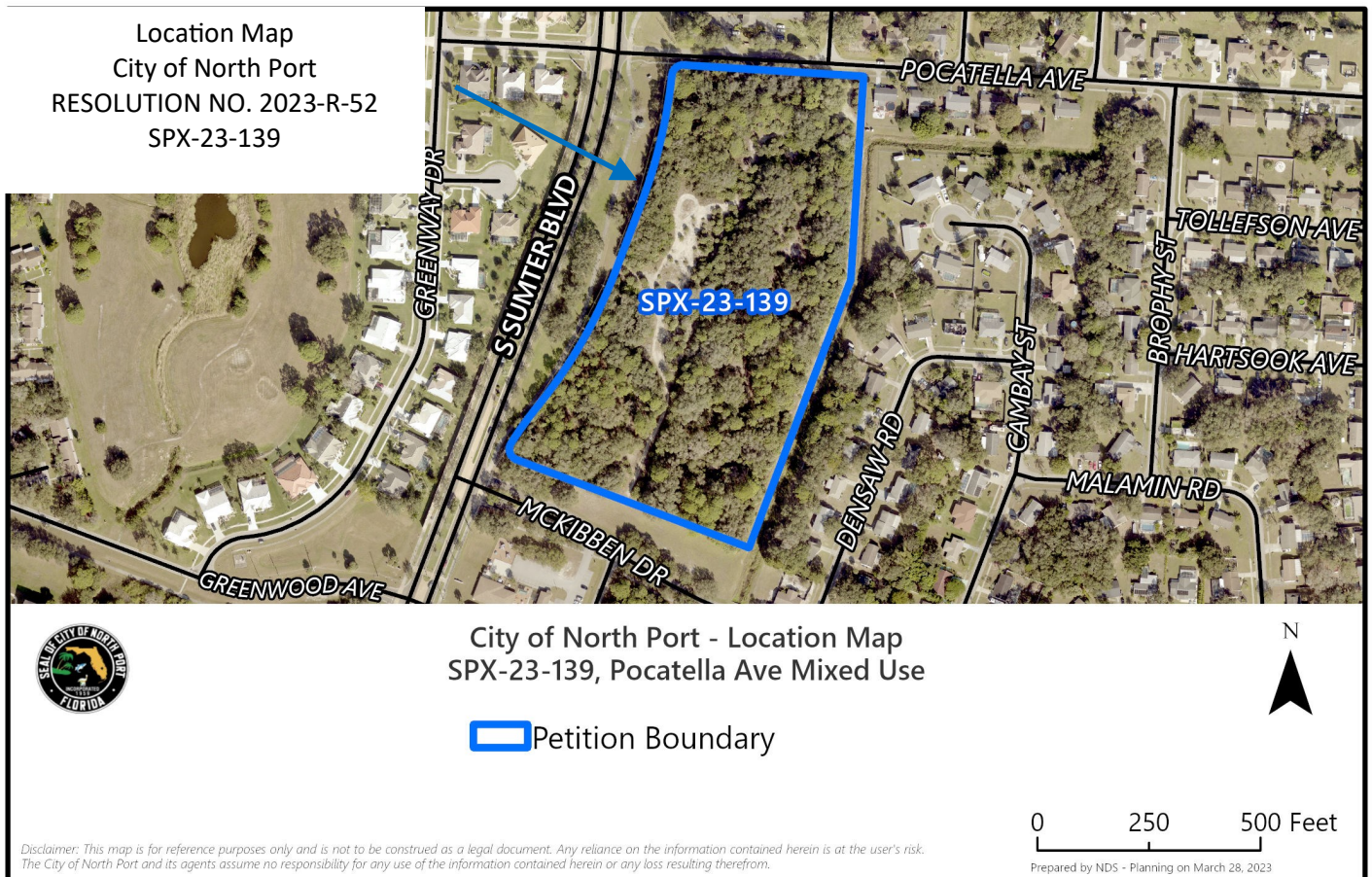
4421 BARODA AVE

NORTH PORT, FL 34287-2876

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

CHRIST MARYLIN
 CHRIST GEORGE B
 5285 BROPHY ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2873

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

Disclaimer: This map is for reference purposes only and is not to be construed as a legal document. Any reliance on the information contained herein is at the user's risk. The City of North Port and its agents assume no responsibility for any use of the information contained herein or any loss resulting therefrom.



City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

CHUMBLEY MICKEY R
 CHUMBLEY LINDA L
 4540 POCATELLA AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2833

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

CHWOJKO KATARZYNA
 CHWOJKO EDWARD
 5936 BEAUMONT LOOP
 NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CIMENO CHARLENE

4687 MARALDO AVE

NORTH PORT, FL 34287

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CLAXTON TAMISHA L
 CLAXTON MARCEL J
 4640 MARALDO AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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COHEN VICTOR M
 COHEN BRENDA W
 COHEN DAVID J
 5982 PANORAMA LN

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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COKE GINA T

4840 PAYNE ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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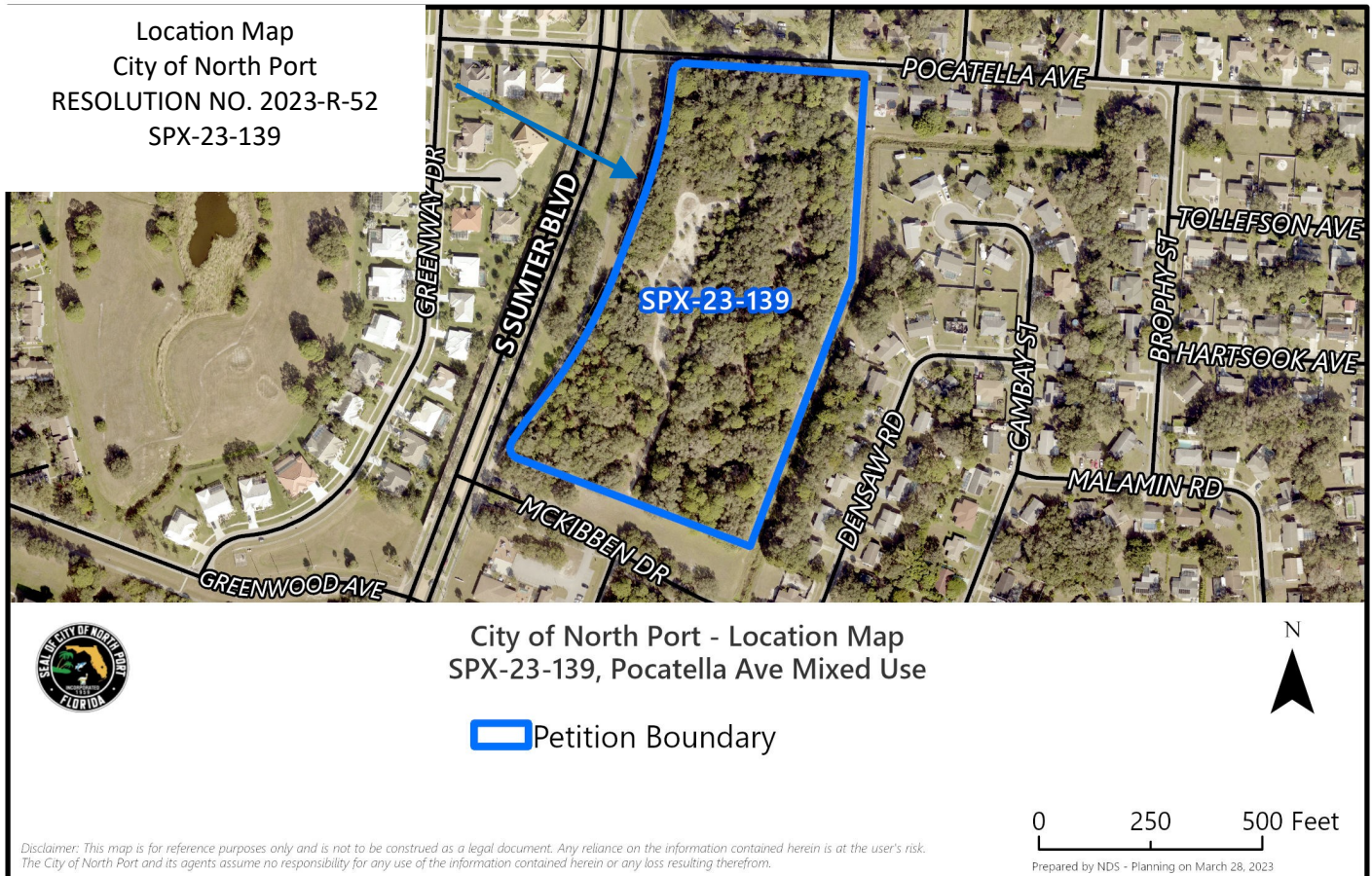
COLLINS WILLIAM M
 COLLINS GAIL E
 4595 TOLLEFSON AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2807

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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COLON-BUZATU GLORIA ESTELLE

5058 GREENWAY DR

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CONCEPCION LOUIS A
 CONCEPCION KATHY A
 4551 MONGITE RD

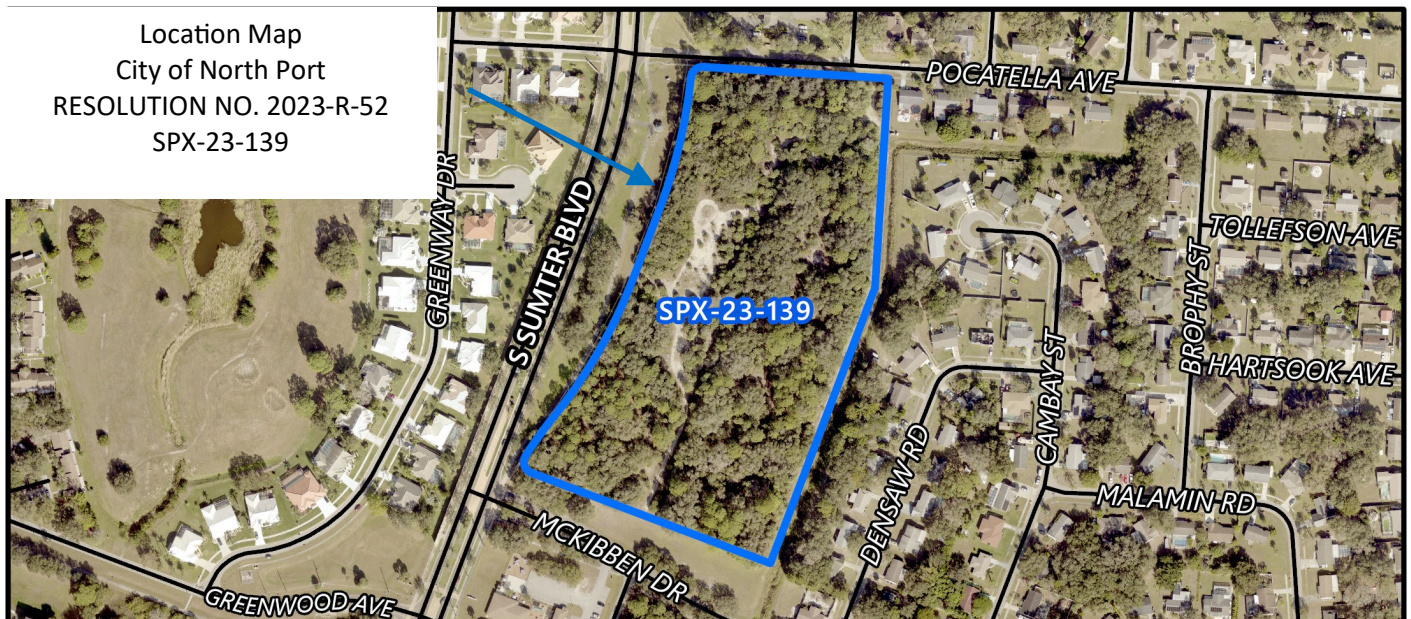
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NORTH PORT, FL 34287-2868

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CONWAY ALETA M

5100 RICHMOND TER

NORTH PORT, FL 34287-2303

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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CONWAY FAMILY LIVING TRUST

C/O JAMES F CONWAY & CORAZON R
 CONWAY TTE
 4745 ABADAN ST

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

Disclaimer: This map is for reference purposes only and is not to be construed as a legal document. Any reliance on the information contained herein is at the user's risk. The City of North Port and its agents assume no responsibility for any use of the information contained herein or any loss resulting therefrom.



City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CONWAY JR JAMES F
 CONWAY CORAZON R
 4745 ABADAN ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2302

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

CONWAY MICHAEL A

4766 CUMBANO ST

NORTH PORT, FL 34287-2306

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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COOK MERCEL DAVID JR

4808 MCKIBBEN DR

NORTH PORT, FL 34287-2801

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

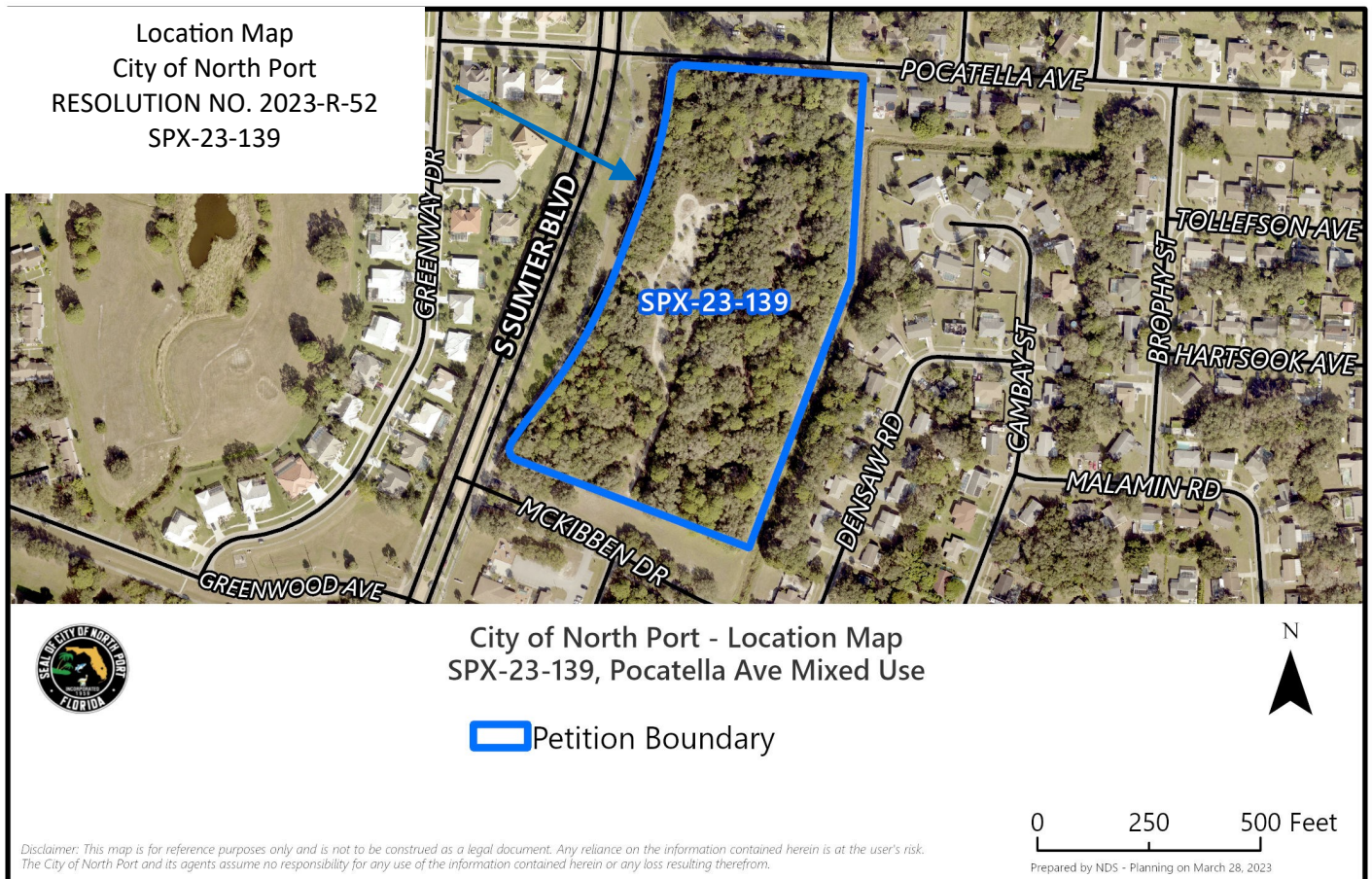
NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

COOPER ERNEST M
 BELL PATRICIA JANE
 4596 TOLLEFSON AVE
 NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CORBIN ASHLEY

5237 SIMRAK ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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COREL APRIL

5285 CAMBAY ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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COUP JR DONALD L

4384 HOKAN AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2848

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CRISWELL ERIC EUGENE
 CRISWELL MEGAN J

5016 KINGSLEY RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2307

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CROMER JORDAN

4558 MARALDO AVE

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CROSS KAMI

5409 SIMRAK ST

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CROSS PAUL MICHAEL

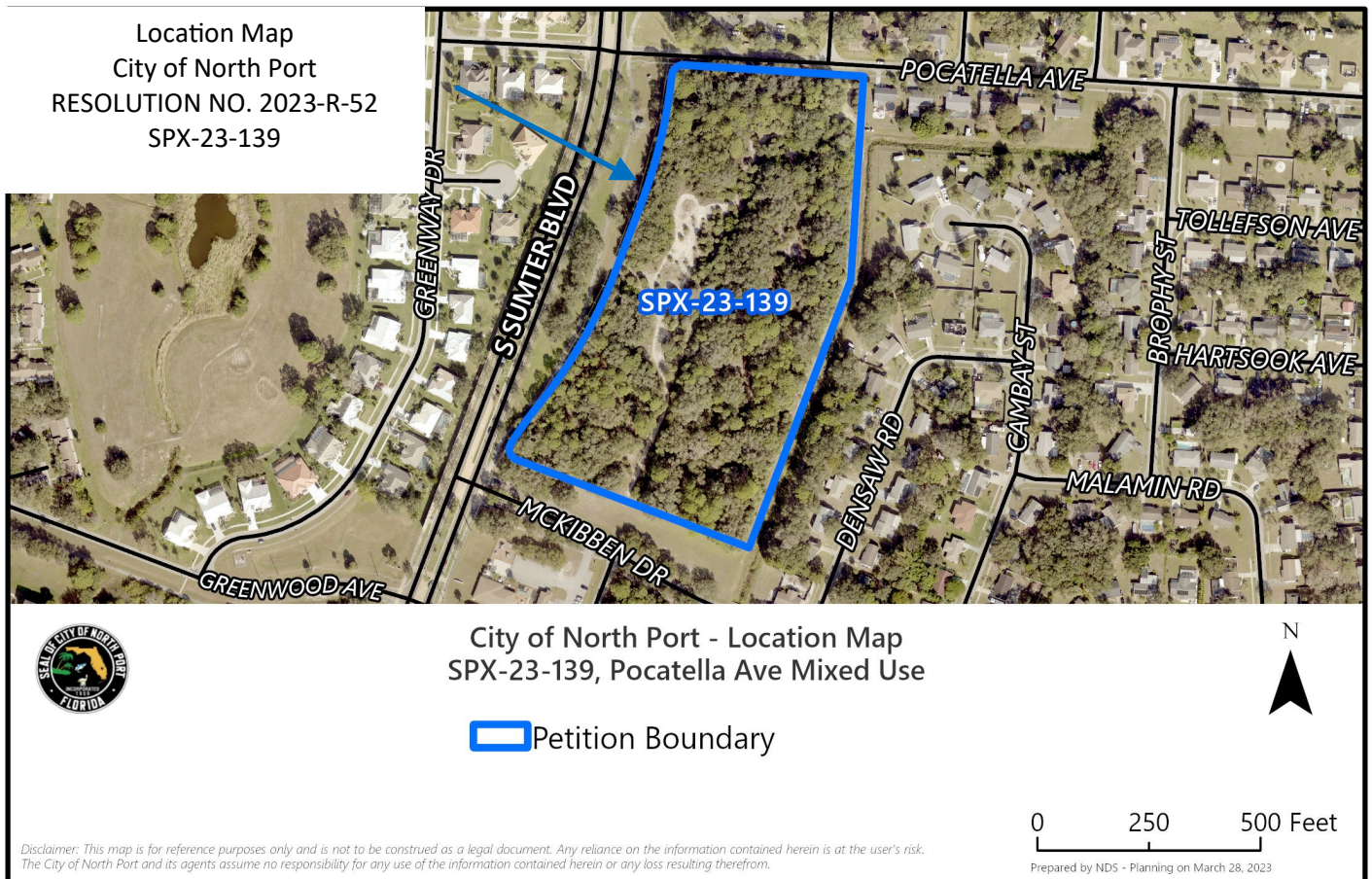
4878 CUMBANO ST

NORTH PORT, FL 34287

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CSANKI MICHAEL C

5407 DENSAW RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CULP DAVID
 CULP CANDYCE

5054 GREENWAY DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CZIKOWSKY SETH
 CZIKOWSKY ANDREA
 4461 BARODA AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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DAGLEY PAUL M
 DAGLEY CHRISTA JANE

5012 KINGSLEY RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2307

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

DAVIDSON JERRY D
 DAVIDSON KELLY A
 4723 ABADAN ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

DAVIDSON TRISHA D

4372 TOLLEFSON AVE

NORTH PORT, FL 34287

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Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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DIAKONIDZE NOE

4655 PAYNE ST

NORTH PORT, FL 34287

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Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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DIORIO MARIA E
 DIORIO FRANK
 5287 DENSAW RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2862

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

Disclaimer: This map is for reference purposes only and is not to be construed as a legal document. Any reliance on the information contained herein is at the user's risk. The City of North Port and its agents assume no responsibility for any use of the information contained herein or any loss resulting therefrom.



City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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DIXON KYLE ROBERT
 DIXON RONALD LEE
 4753 ESCALANTE DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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DOLAN MARK D

4688 MARALDO AVE

NORTH PORT, FL 34287-2831

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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DORIS M BLANKENSHIP REVOCABLE TRUST
 BLANKENSHIP DORIS M (TTEE)

4563 TOLLEFSON AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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EIK STEVEN D
 EIK JESSICA A

4767 ESCALANTE DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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ELLIGSON SUSAN M

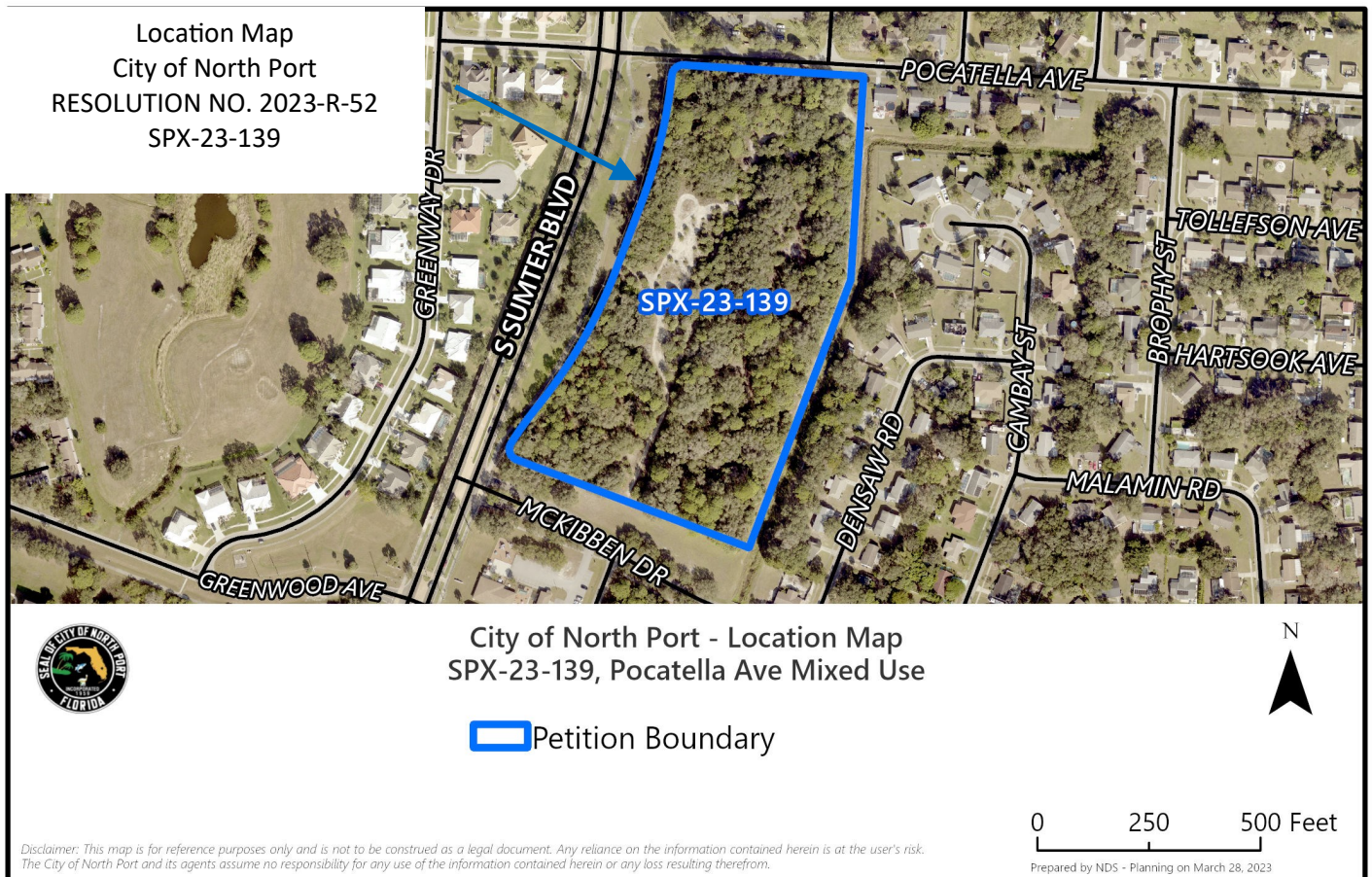
5150 CAMBAY ST

NORTH PORT, FL 34287-2818

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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ELLIS HERMIN L

5345 CAMBAY ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2887

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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ELLISON DENNIS J

4346 POCATELLA AVE

NORTH PORT, FL 34287-2813

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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ELSENHEIMER ERIN MICHELLE
 ELSENHEIMER DAVID LLOYD

4444 BARODA AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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EMERY ROBERT M

5100 DENSAW RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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ENCHAUTEGUI ROBERTO DIAZ
 DIAZ STACEY

5650 POSTMA ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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ENSOR MIRIAM A
 TRAINHAM DONALD R
 4487 MAC CAUGHEY DR
 NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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ERITZ ELIZABETH A
 ERITZ JOSEPH C

4484 BARODA AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2877

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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ESCARRA ROY A

4865 ABADAN ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2302

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

Disclaimer: This map is for reference purposes only and is not to be construed as a legal document. Any reliance on the information contained herein is at the user's risk. The City of North Port and its agents assume no responsibility for any use of the information contained herein or any loss resulting therefrom.



City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

ESTRA GERTY

5405 CAMBAY ST

NORTH PORT, FL 34287-2888

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

EVANISH MYRNA L (E LIFE EST)

4898 ABADAN ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2301

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

FAIRWAY VILLAS PROPERTY OWNERS
 ASSN

5640 MASHIE CIR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

FARRIS ALAN
 FARRIS CAROL

5481 POSTMA ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

FERGUSON ABSALOM

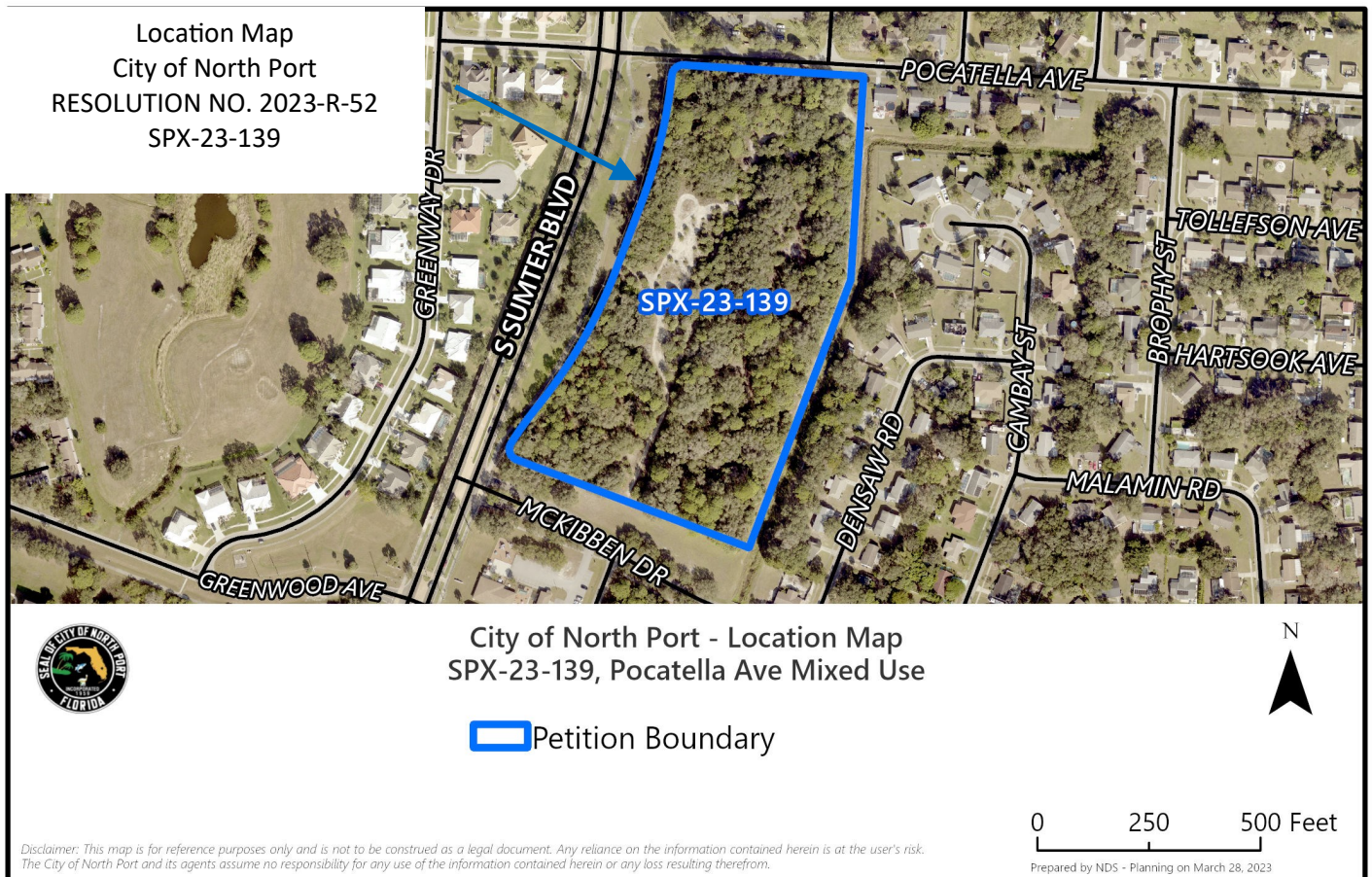
5001 KINGSLEY RD

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

FETRO VIRGINIA MARIE

5465 CAMBAY ST

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

FLEMING SHIRLEY B
 FLEMING SR DOUGLAS S
 5009 POCATELLA AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-3146

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

FOX JAMIE C
 FOX DENISE N

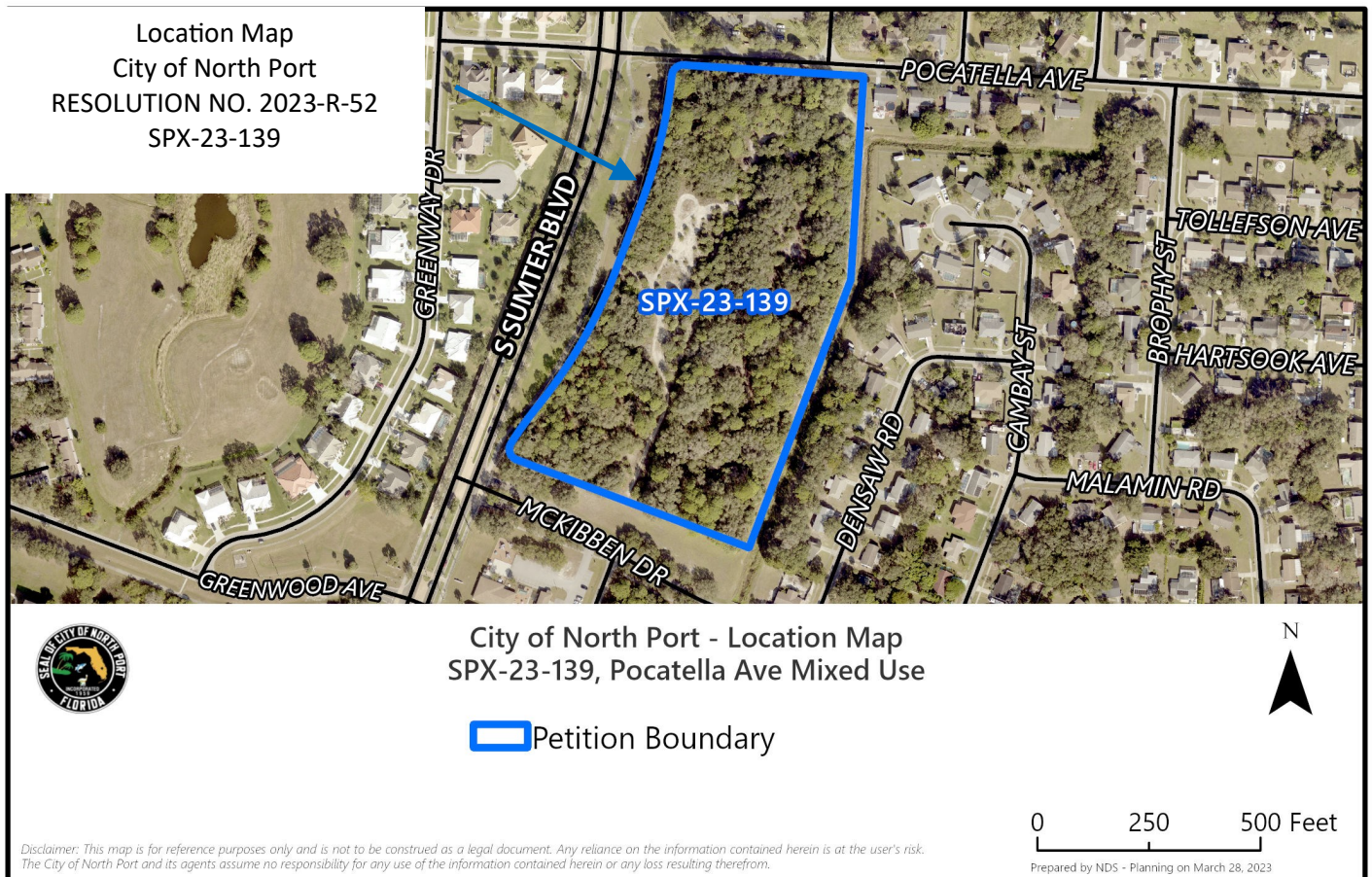
5178 CAMBAY ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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FOYE STEPHEN
 FOSS DAWN

5410 MALAMIN RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2850

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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FRASER KENTON

5035 GREENWAY DR

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

FREEDOM BIBLE CHURCH INC

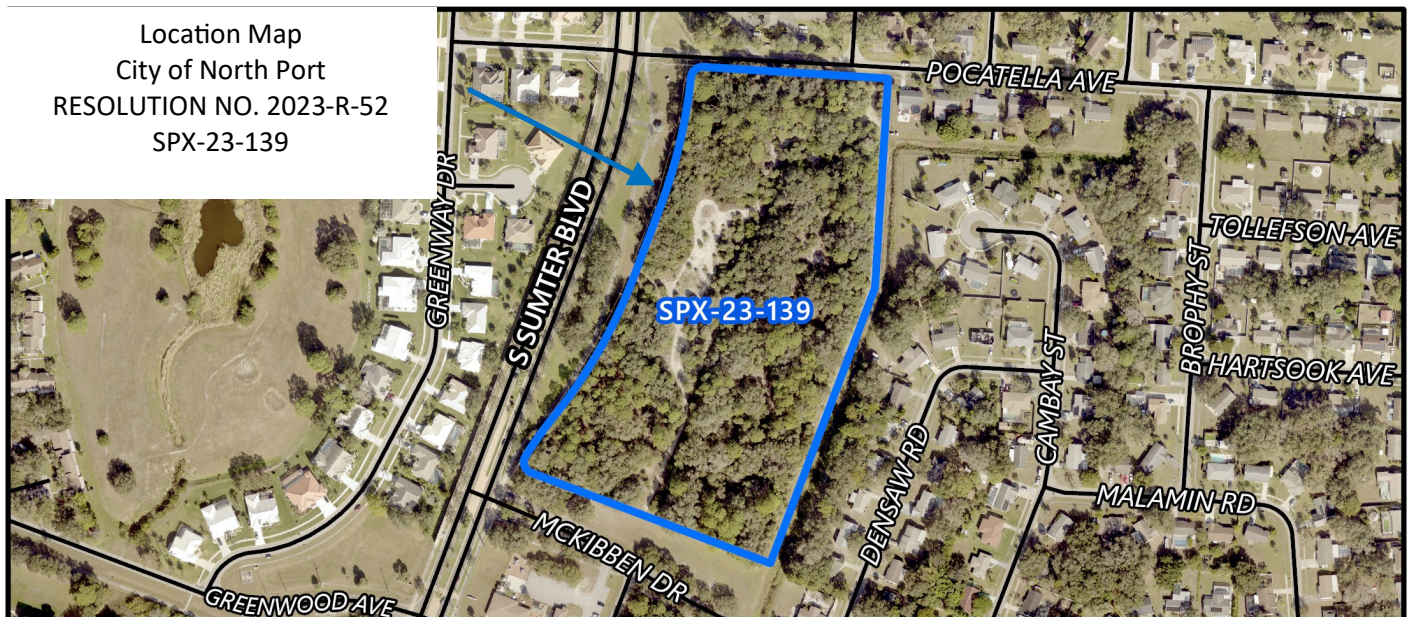
5550 S SUMTER BLVD

NORTH PORT, FL 34289

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.



Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

FREEMAN ERIC ADAM
 FREEMAN NAREE

5449 POSTMA ST

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

FREIN TERRY D
 FREIN KRISTIE G

5031 GREENWAY DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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FREYBERG LARRY W

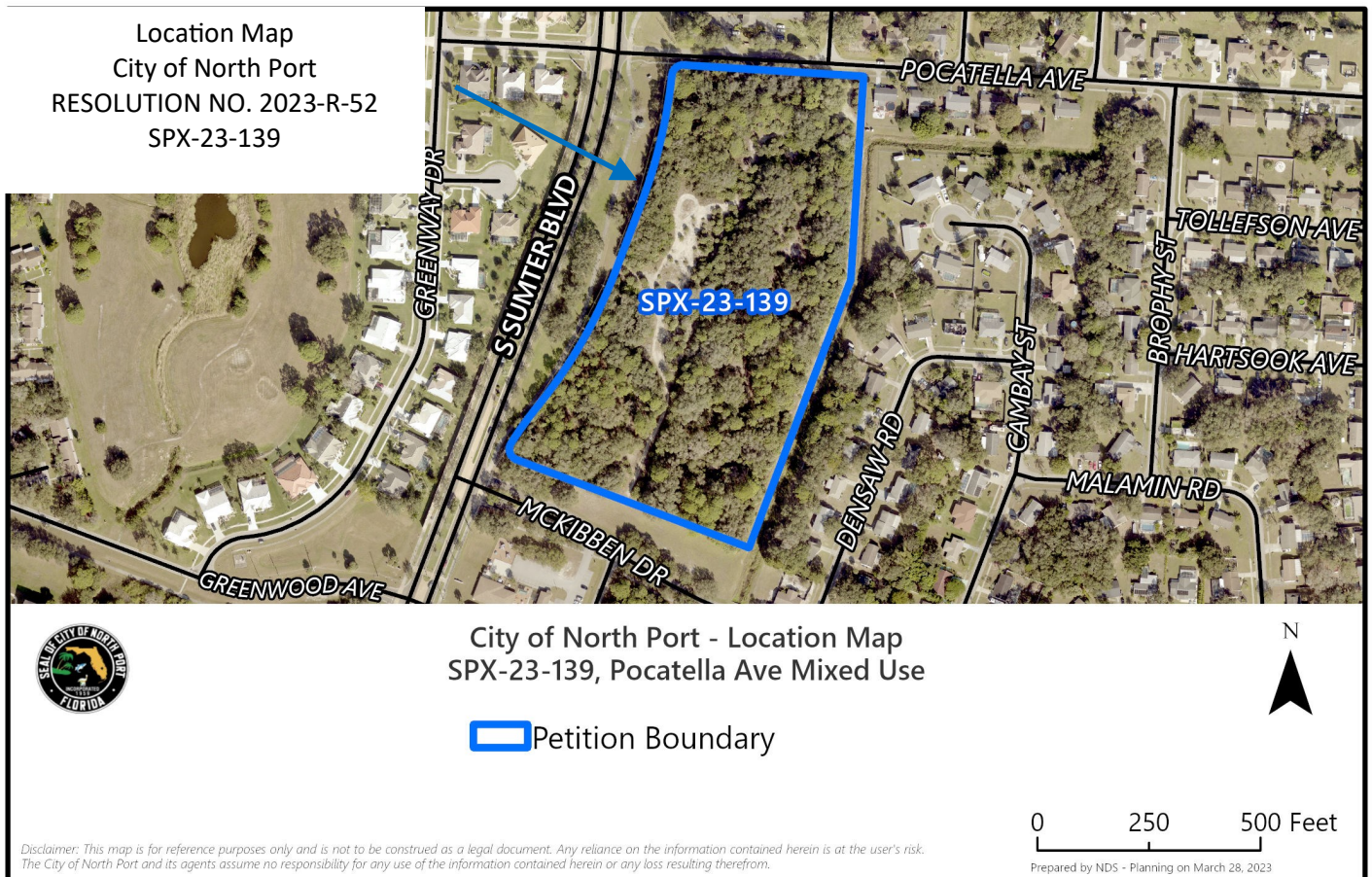
4739 ESCALANTE DR

NORTH PORT, FL 34287-2842

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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FROESE MICHAEL

4658 MONGITE RD

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

FULMER KEVIN M
 FULMER KRISTY

4906 CUMBANO ST

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
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GARRAUS JOSE M (E LIFE EST)
 GARRAUS MARIA M (E LIFE EST)

4355 MAC CAUGHEY DR

NORTH PORT, FL 34287

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
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GARRETT HEATHER L
 LAKEMAN CHRISTOPHER S
 4411 POCATELLA AVE
 NORTH PORT, FL 34287

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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GENS ROBERT E
 GENS CONSTANCE E
 4501 BARODA AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2883

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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GERMAIN BERNARD

4257 APPLETON TER

NORTH PORT, FL 34287

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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GERSTUNG JOHN C

4768 ESCALANTE DR

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NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
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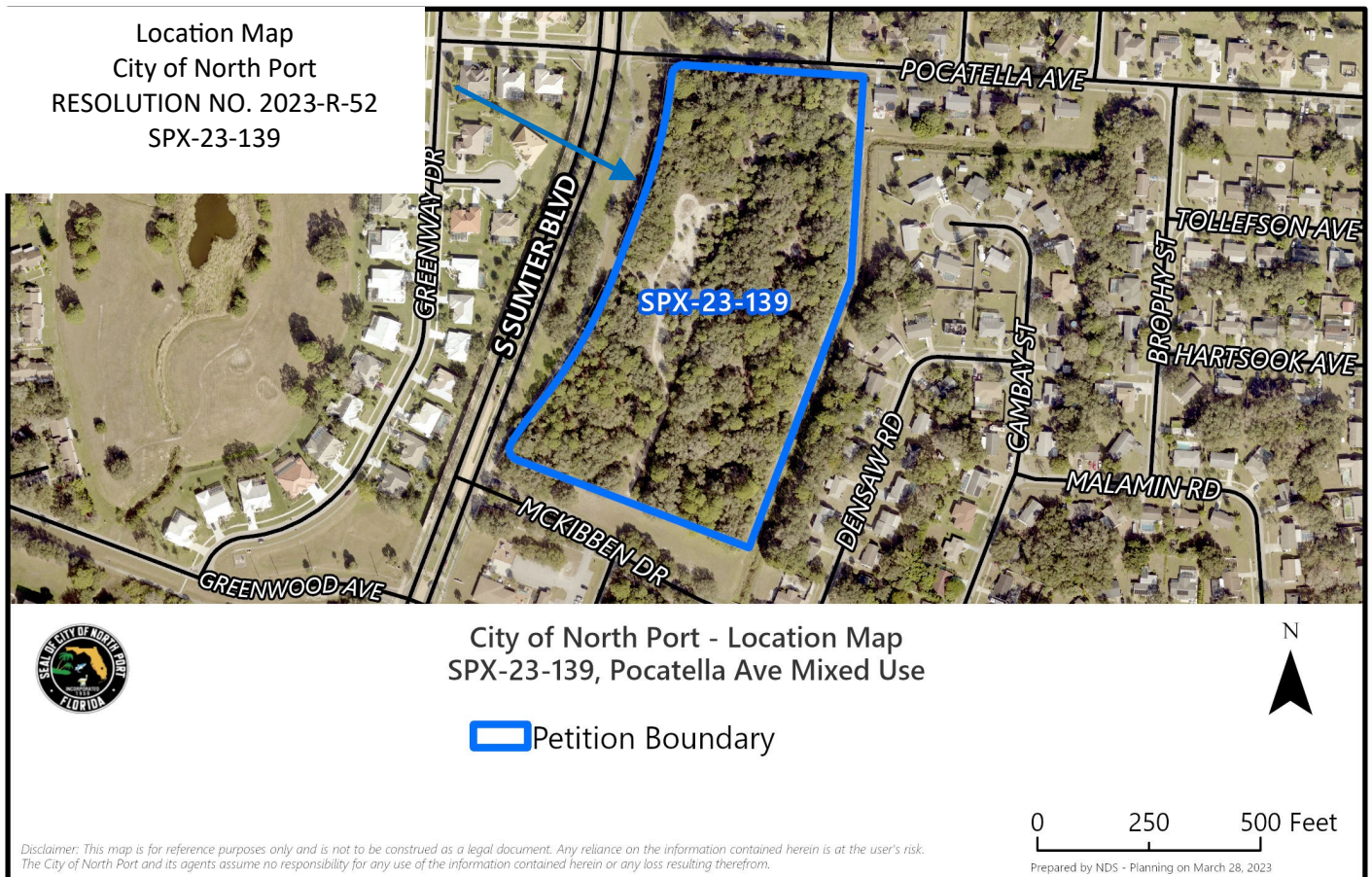
GLASGOW ROBERT
 GLASGOW CHRISTINE
 BOCCHICCHIO LORETTA
 5285 SIMRAK ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2810

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
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GLENN JOSEPH C
 GLENN PAMELA
 5255 BROPHY ST

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NORTH PORT, FL 34287-2873

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

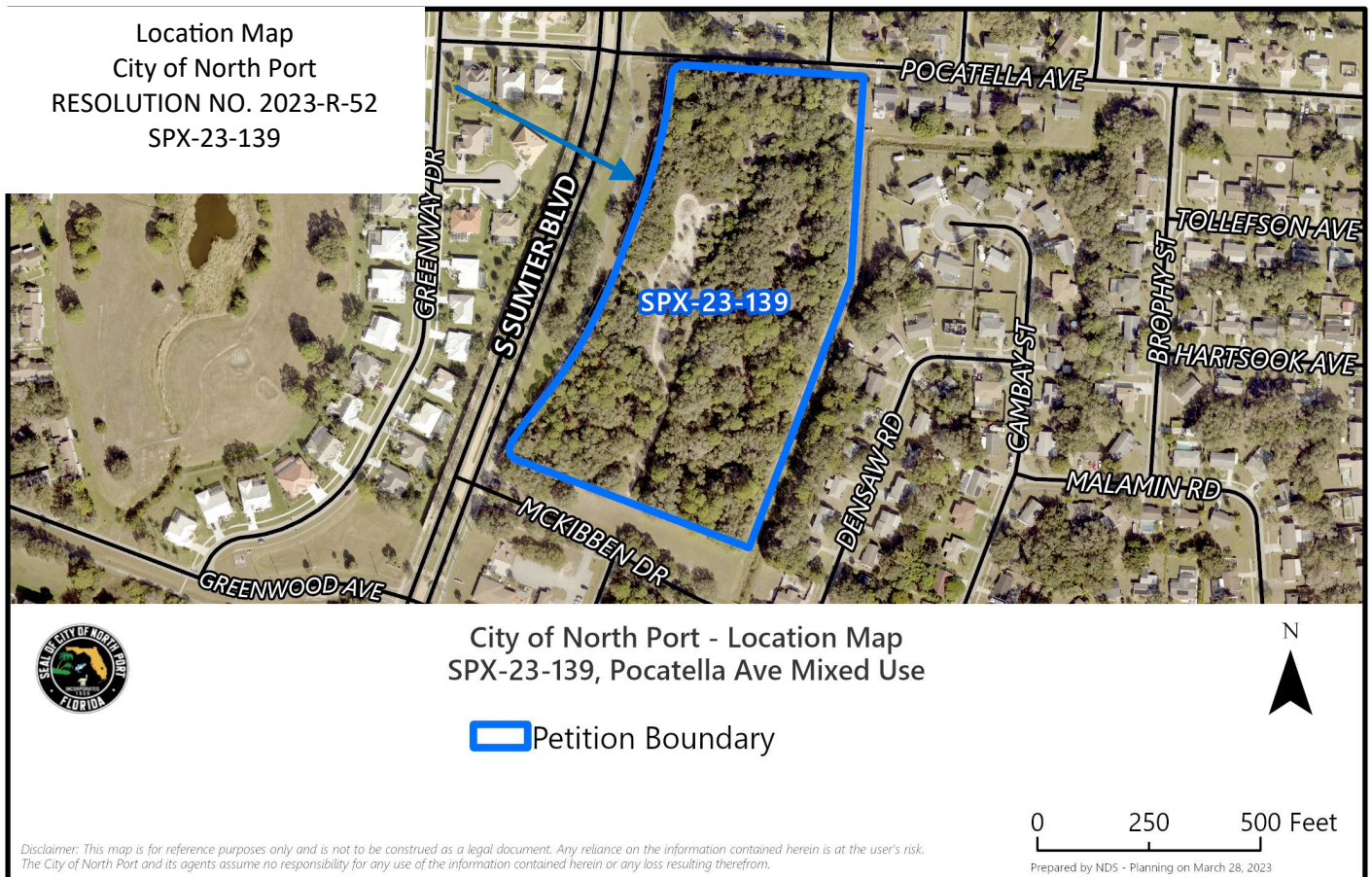
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GLORIOSO MARGARET A
 GLORIOSO PAUL L
 5126 RICHMOND TER
 NORTH PORT, FL 34287

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City of North Port
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 Planning & Zoning Division
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GOETZ INNA

5560 NIBLICK PL

NORTH PORT, FL 34287

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City of North Port
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 Planning & Zoning Division
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 North Port, FL 34286

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GOLDMAN BENJAMIN JOSEPH

5367 DENSAW RD

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NORTH PORT, FL 34287

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GRAHAM TIMOTHY
 GRAHAM THERESA

5333 SIMRAK ST

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NORTH PORT, FL 34287

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
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GREBE STEVEN
 GREBE REBECCA
 1514 NIMBUS DR

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
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GREEN SARAH JO

5972 PANAORAMA LN

NORTH PORT, FL 34287

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 Planning & Zoning Division
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GREENHAM JR WILLIAM
 GREENHAM MILDRED F

5195 BROPHY ST

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NORTH PORT, FL 34287-2873

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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GROOVER BARBARA J

4688 MONGITE RD

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NORTH PORT, FL 34287-2823

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

GUEVARA IV PEDRO
 GUEVARA SHARON M
 5252 CAMBAY ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2886

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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GUTIERREZ PEDRO
 GUTIERREZ YURI CATALINA
 4773 ESCALANTE DR

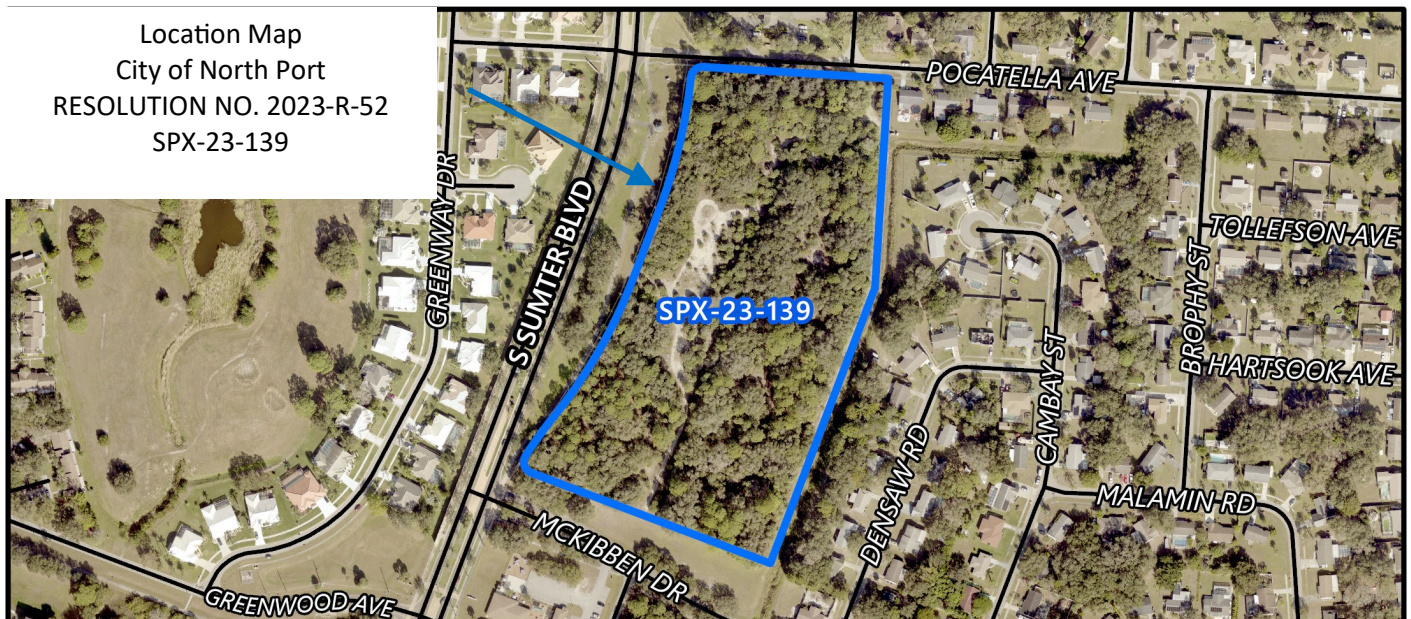
A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2842

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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HALE JR MORRIS A
 DOCTER B CHRISTINE
 5327 DENSAW RD

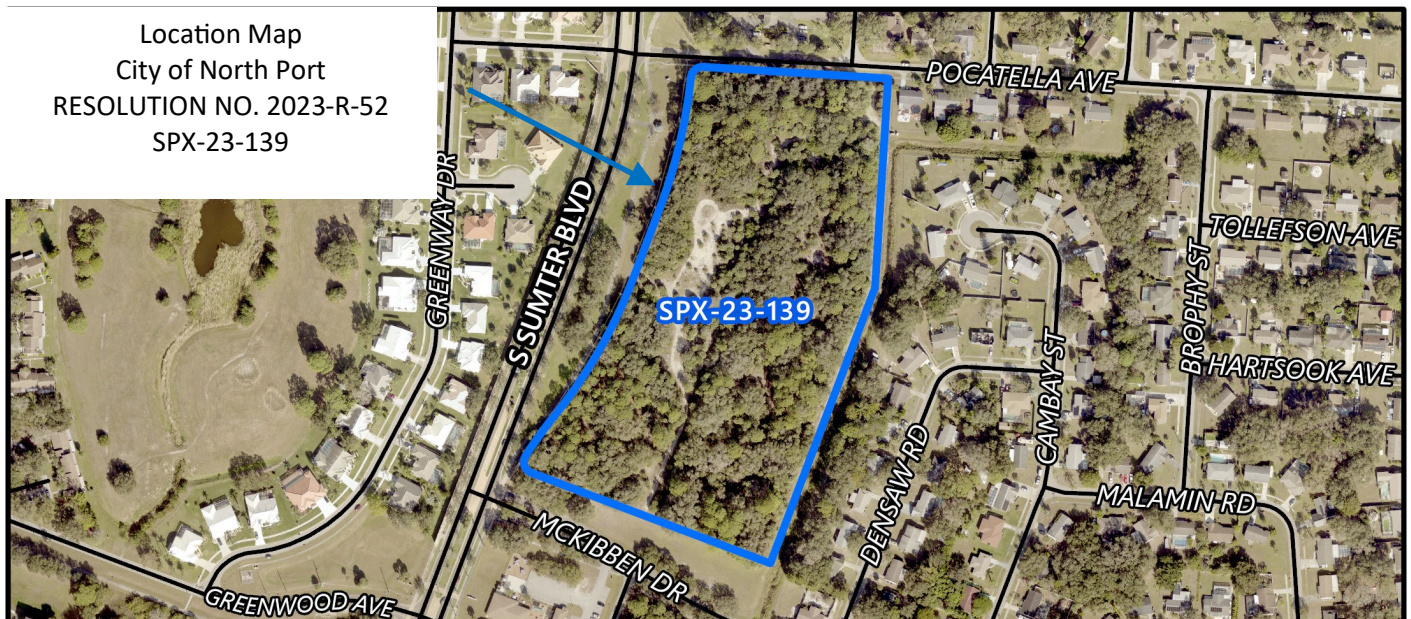
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NORTH PORT, FL 34287-2845

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
Neighborhood Development Services
Planning & Zoning Division
4970 City Hall Boulevard
North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
NOTICE OF PUBLIC HEARINGS
FOR RESOLUTION NO. 2023-R-52
SPX-23-139**

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HARGRAVES CHRISTOPHER C
HARGRAVES ABBY

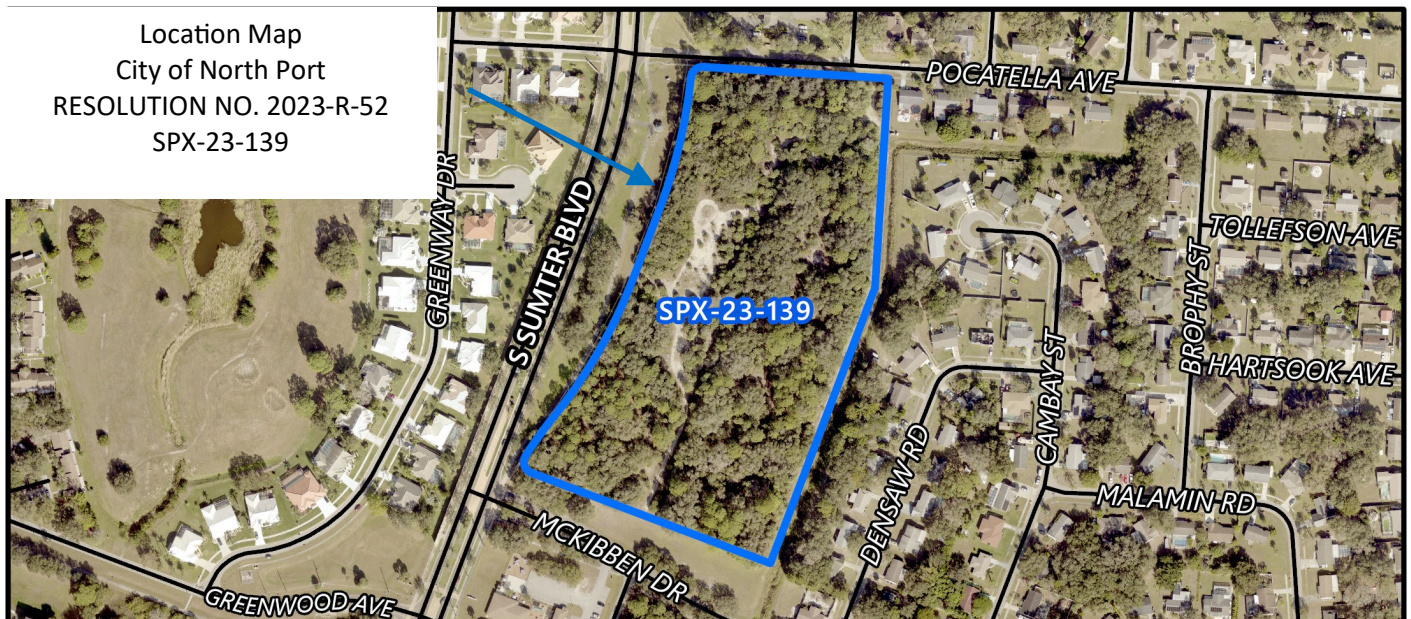
5100 CAMBAY ST

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
City of North Port
RESOLUTION NO. 2023-R-52
SPX-23-139



City of North Port - Location Map
SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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HARMON-POIRIER JANET

5383 MALAMIN RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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HART SABRINA L
 SATTERLEY CRAIG

4498 MARALDO AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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HENRY DARRYL W
 HENRY CLARA J

5111 RICHMOND TER

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2327

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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HESTER GLENN
 HESTER NITA L
 5105 BROPHY ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2873

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 SPX-23-139**

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HOANG PHUOC (E LIFE EST)

5008 KINGSLEY RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2307

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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HOGREFE LIVING TRUST
 HOGREFE SUSAN M (CO-TTEE)
 HOGREFE MARK (CO-TTEE)
 5954 PANORAMA LN

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-3104

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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HOLUB EUGENIA

4766 ABADAN ST

NORTH PORT, FL 34287-2301

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 SPX-23-139**

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HOOD NANCY J

5791 BEAUMONT LOOP

NORTH PORT, FL 34287

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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HOPKINS NEAL R (E LIFE EST)

4481 BARODA AVE

NORTH PORT, FL 34287

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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HORTON GAIL

5456 NIBLICK PL

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-3136

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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HOULKER BRANDEN J

5860 NIBLICK PL

NORTH PORT, FL 34287

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City of North Port
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 Planning & Zoning Division
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HOWARD STEPHANIE S

4374 HARTSOOK AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2852

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

HRYTSKEVICH NELYA S
 HRYTSKEVICH DANIL
 5010 GREENWAY DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-3140

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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HUDSON JOHN A

4695 PAYNE ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2325

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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HUSS JOHN TIMOTHY

5012 POCATELLA AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-3145

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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ISHAC BEVERLY A (E LIFE EST)

4863 BATCHELOR AVE

NORTH PORT, FL 34287-2320

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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IZAGUIRRE FRANCISCO MIGUEL
 PEREZ VIDAL DANIELA E
 GONZALES ARNOLD ARNULFO
 4766 SALADINO AVE

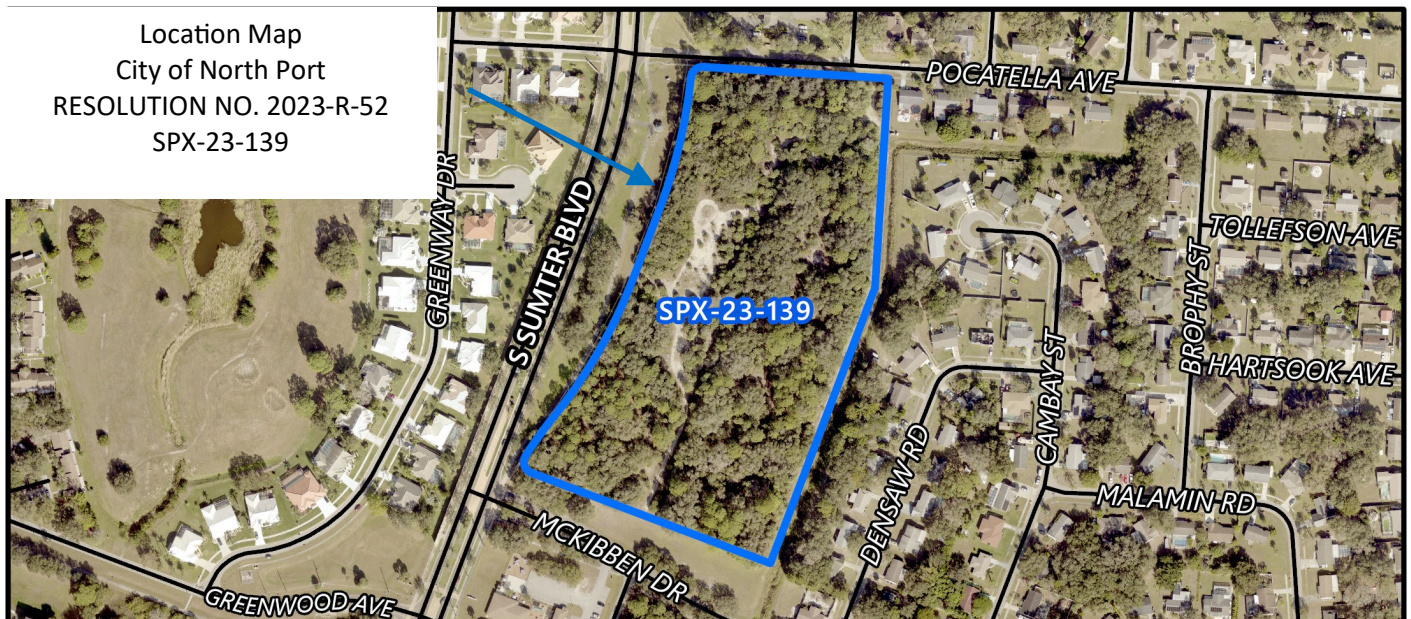
A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2322

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

JACK & JULIA S HEDGES REVOCABLE TRUST
 HEDGES JULIA CO-TTEE

5657 BLIFFERT ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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JACKSON JEFFREY H

5685 BLIFFERT ST

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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JAMES HART AND CAROL J GLASS JOINT TRUST
 GLASS JAMES H (TTEE)

5041 RICHMOND TER

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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JANSSON SADIE C

4832 ABADAN ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2301

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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JOHNSON DEBRA

4720 PAYNE ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2323

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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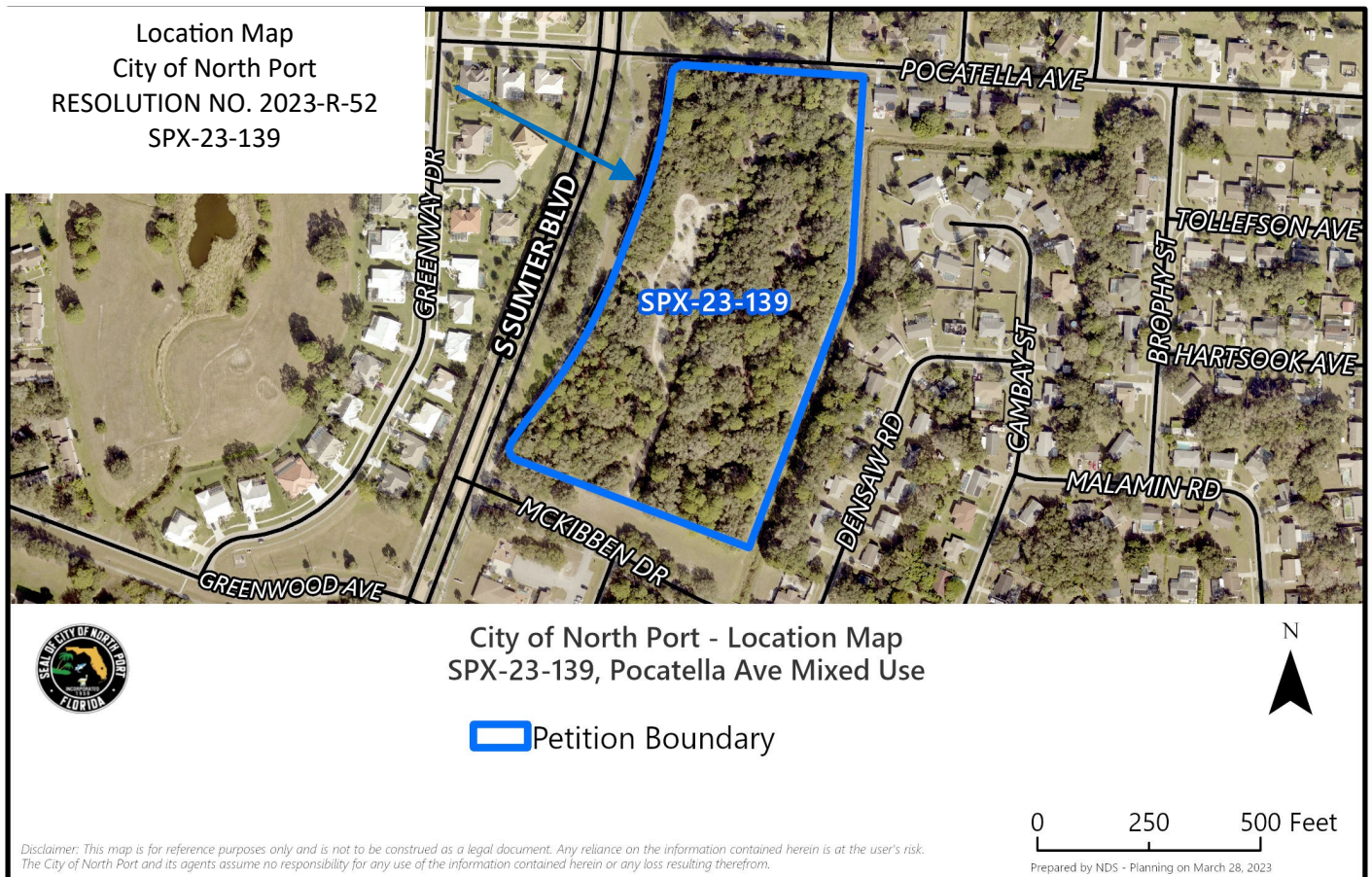
JOSEPH R SPUGLIO REVOCABLE TRUST
 SPUGLIO JOSEPH R (F/B/O)
 DARLENE PAIVA REVOCABLE TRUST
 5006 GREENWAY DR

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NORTH PORT, FL 34287-3140

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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KAIL MICHAEL A
 KAIL PATRIECE A

5001 GREENWAY DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
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 FOR RESOLUTION NO. 2023-R-52
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KANWISHER JOHN WALTER

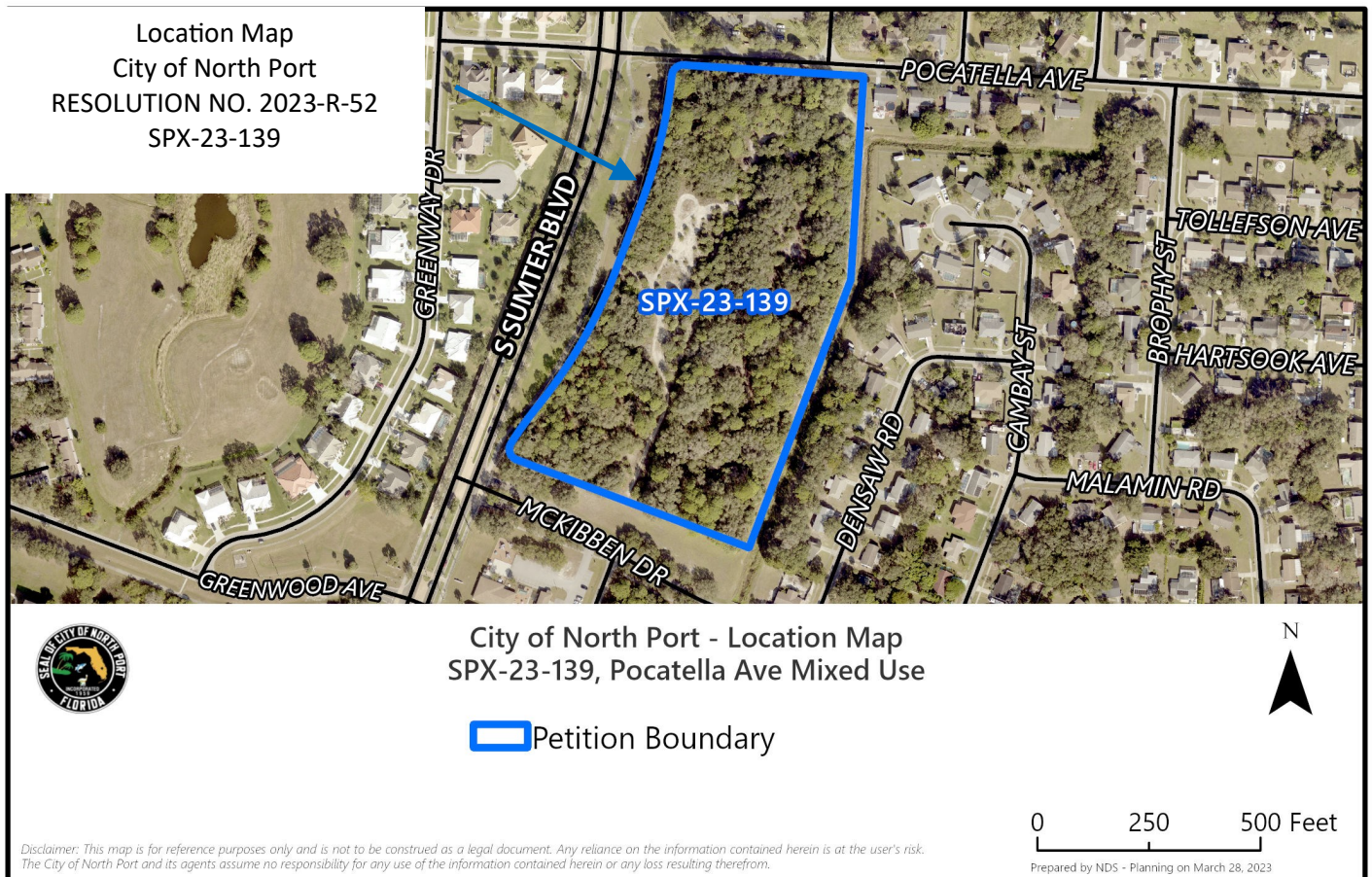
4745 PAYNE ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
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KEILTY FAMILY REVOCABLE TRUST
 KEILTY SHARON EILEEN (TTEE)

5978 PANORAMA LN

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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KEOGH PATRICK JAMES

5121 RICHMOND TER

NORTH PORT, FL 34287

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Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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KIEL JEFFREY S
 KIEL PATRICIA G

4601 POCATELLA AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

KIFYUK OKSANA

4617 SALADINO AVE

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

KIMBREL NAIDA

5375 CAMBAY ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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KINDSTEDT ELLEN L

5021 RICHMOND TER

NORTH PORT, FL 34287-2304

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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KOPFHAMER ANNA LEE
 KOPFHAMER WILLIAM

5348 DENSAW RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2834

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

KORPONAY MARIAN

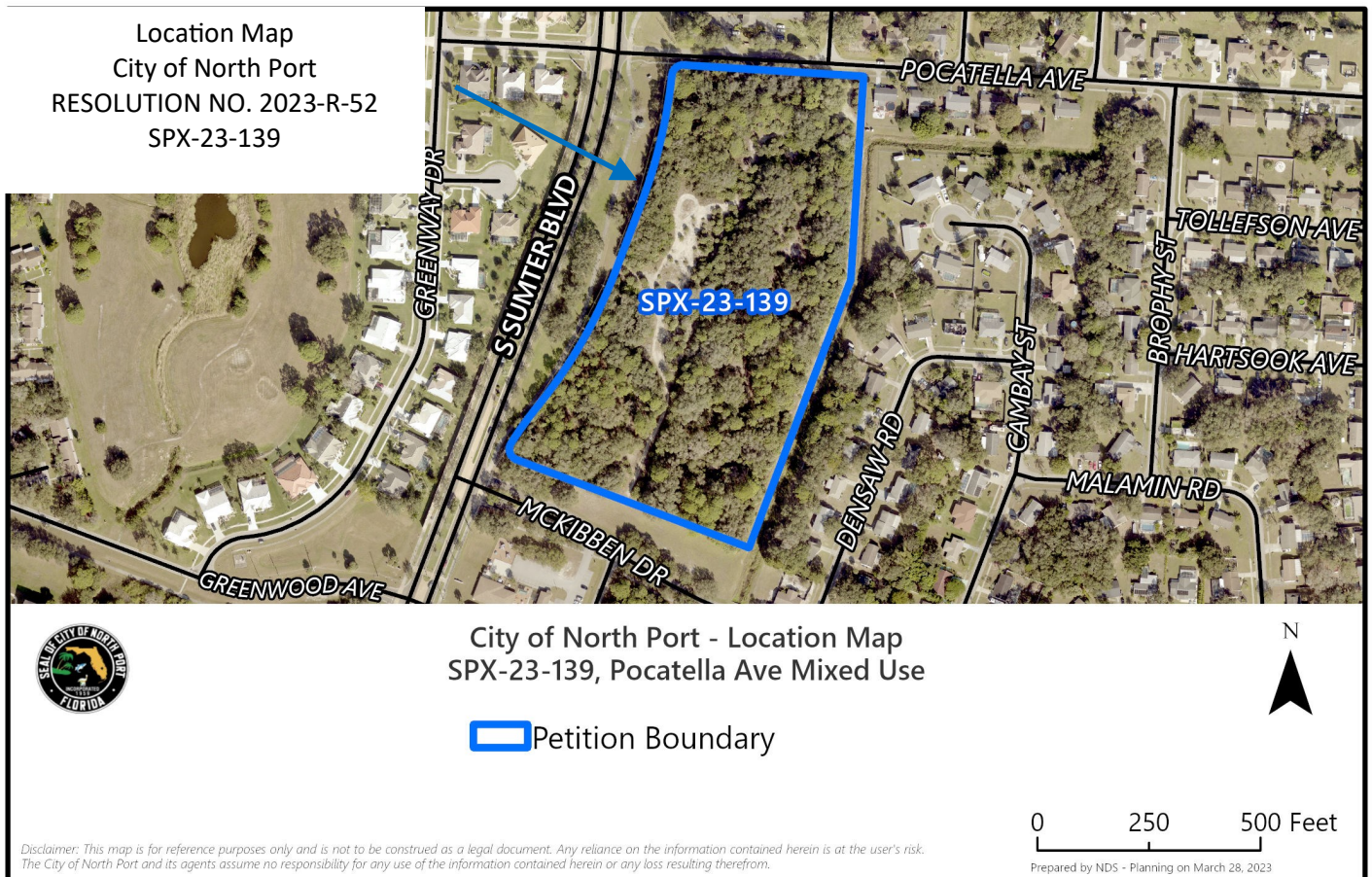
5308 DENSAW RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2834

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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KOSLOW KENNETH A

5050 GREENWAY DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-3142

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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KOWALCZYK WOJCIECH

507 MARIA PL

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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KREITZER MARGARET A

5450 MALAMIN RD

NORTH PORT, FL 34287-2850

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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LADDARAN ANGELINE T

4640 MONGITE RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2823

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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LAMB WADE C
 LAMB REBECCA A

5360 MALAMIN RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2836

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

PUBLIC NOTICE - CITY OF NORTH PORT
NOTICE OF PUBLIC HEARINGS
FOR RESOLUTION NO. 2023-R-52
SPX-23-139

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LAMOUREUX MARK M
 LAMOUREUX DEANNA L
 5200 DENSAW RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2834

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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LONDON KILCHA

4598 POCATELLA AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2833

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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LANGLAIS HERVE N

5067 GREENWAY DR

NORTH PORT, FL 34287

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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LARSTANNA STEPHEN
 LARSTANNA JESSICA

4436 TOLLEFSON AVE

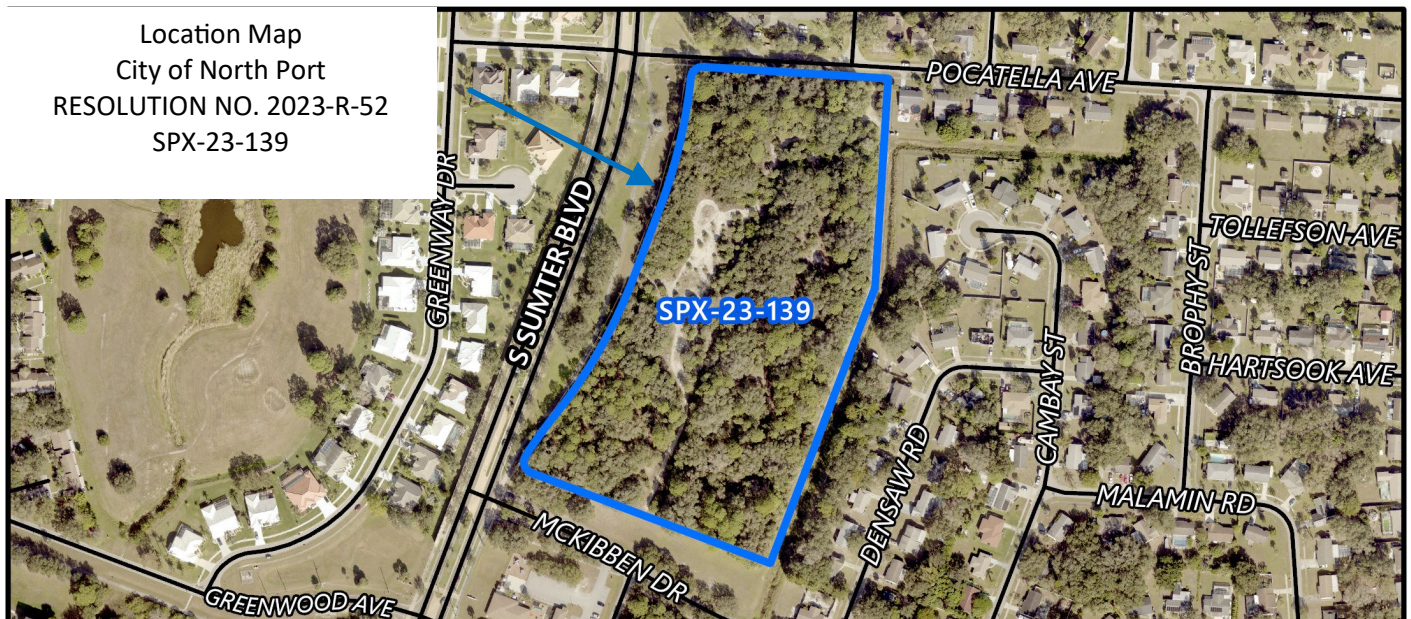
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NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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LECESSE JOSEPH

4359 POCATELLA AVE

NORTH PORT, FL 34287

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

LEWIS LENITA J

5428 NIBLICK PL

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-3136

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

Disclaimer: This map is for reference purposes only and is not to be construed as a legal document. Any reliance on the information contained herein is at the user's risk. The City of North Port and its agents assume no responsibility for any use of the information contained herein or any loss resulting therefrom.



City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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LEWIS THOMAS LYNN II
 LEWIS JOCELYN EVELYN CARLEEN
 5105 DENSAW RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2862

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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LIEBERMANN KEITH E

4777 ABADAN ST

NORTH PORT, FL 34287-2302

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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LINDA M GROTHER REVOCABLE TRUST
 GROTHER LINDA M (TTEE)

5043 GREENWAY DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-3185

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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LINDERS ROSANNE T (E LIFE EST)

4598 HARTSOOK AVE

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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LINEBERGER LEAH

5966 PANORAMA LN

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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LIVEK JAMES E
 LIVEK KRISTEN M

4787 ESCALANTE DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2842

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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LIVESAY FREDA G (E LIFE EST)

5484 NIBLICK PL

NORTH PORT, FL 34287

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Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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LOEFFLER BEN
 DODGE MARSHALL
 HATFIELD CYDNEY
 4759 ESCALANTE DR

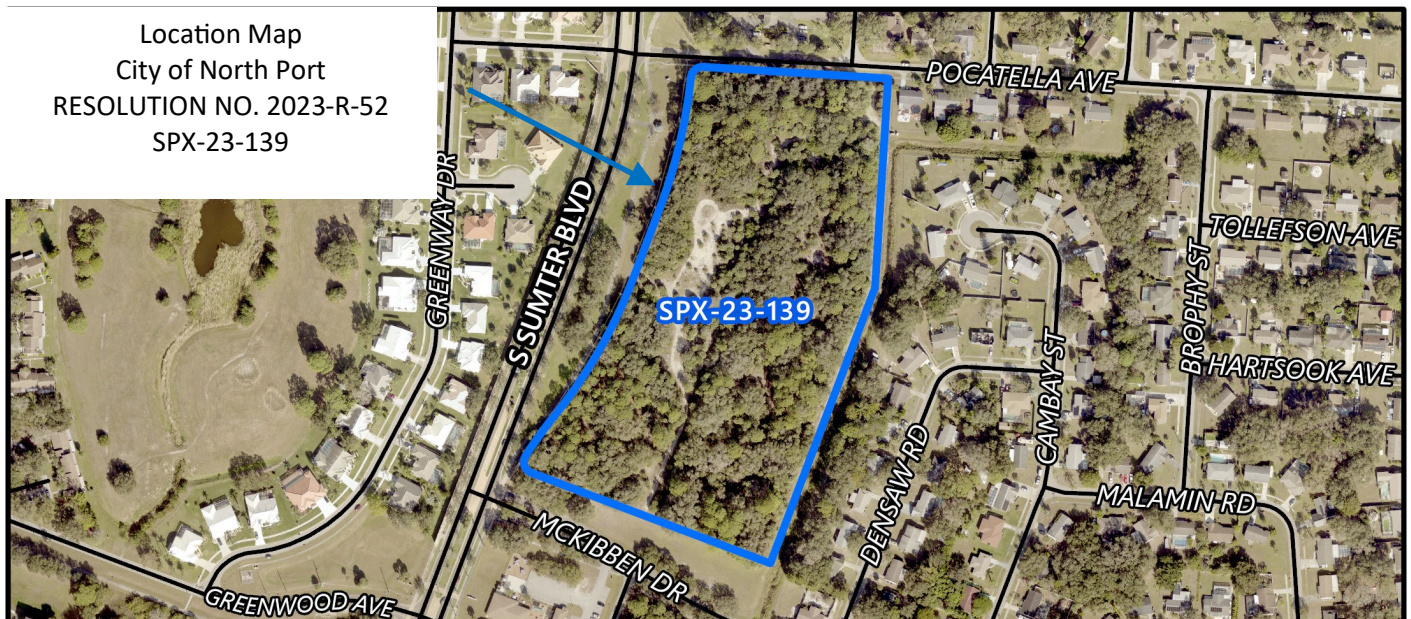
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NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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LOOMIS KURT DUNN
 LOOMIS YELENA
 5010 POCATELLA AVE
 NORTH PORT, FL 34287

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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LOPEZ ANA

5400 NIBLICK PL

NORTH PORT, FL 34287

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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LOVESKY BRIAN

4467 TOLLEFSON AVE

NORTH PORT, FL 34287

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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LUPI VICTOR
 EVERNHAM KRISTIN
 4514 POCATELLA AVE
 NORTH PORT, FL 34287

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
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LYNN ASHLEY C

4624 MARALDO AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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MARCKMANN CHAD
 MARCKMANN TAYLOR
 4406 HARTSOOK AVE
 NORTH PORT, FL 34287

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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MARQUES AVIS M (E LIFE EST)

4732 POCATELLA AVE

NORTH PORT, FL 34287-2318

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

MARTIN KEVIN JOHN

4522 BARODA AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2877

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

Disclaimer: This map is for reference purposes only and is not to be construed as a legal document. Any reliance on the information contained herein is at the user's risk. The City of North Port and its agents assume no responsibility for any use of the information contained herein or any loss resulting therefrom.



City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

MARTINEZ CARLOS AUGUSTO

5388 DENSAW RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

MARTINI MICHAEL J
 LOVE ASHLEY J

5500 NIBLICK PL

NORTH PORT, FL 34287-3137

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

MARUDAS MARIO

4564 TOLLEFSON AVE

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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MARY LOU WELDY REVOCABLE TRUST
 WELDY MARY LOU (TTEE)

4534 MONGITE RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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MATTHEWS TERESITA

5665 POSTMA ST

NORTH PORT, FL 34287-2806

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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MAUNG KHIN M
 HAN SU MYAT

5032 GREENWAY CT

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-3144

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
Neighborhood Development Services
Planning & Zoning Division
4970 City Hall Boulevard
North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
NOTICE OF PUBLIC HEARINGS
FOR RESOLUTION NO. 2023-R-52
SPX-23-139**

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MAYHEW DONNIE E
MAYHEW DEBORAH F

PO BOX 6817

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34290-6817

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
City of North Port
RESOLUTION NO. 2023-R-52
SPX-23-139



City of North Port - Location Map
SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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MC CLOUD ANDRE
 MC CLOUD SANDRINA
 4578 MARALDO AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2859

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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MC ELRATH MARJORIE

5376 MALAMIN RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2836

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

MCDONALD ASHLEY

4468 TOLLEFSON AVE

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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MCNAMARA LIVING TRUST
 MCNAMARA RICHARD (TTEE)
 MCNAMARA JODI (TTEE)
 5071 GREENWAY DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-3185

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

MEADOWS ROBYN

4513 POCATELLA AVE

NORTH PORT, FL 34287-2815

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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METILUS CALEINE ROSE MICHEL

5000 RICHMOND TER

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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MICALIZZI JOSEPH

4945 PAYNE ST

NORTH PORT, FL 34287

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Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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MIDAS CASSANDRA MARIE
 MIDAS GARY JAMES JR

5671 BLIFFERT ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

MIHM RUTH JOAN

5269 MALAMIN RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2832

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

MILLER MICHAEL
 HUBBARD JODY

5135 CAMBAY ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
Neighborhood Development Services
Planning & Zoning Division
4970 City Hall Boulevard
North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
NOTICE OF PUBLIC HEARINGS
FOR RESOLUTION NO. 2023-R-52
SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

MITCHELL WALTER L
MITCHELL MARSHA L
5055 GREENWAY DR

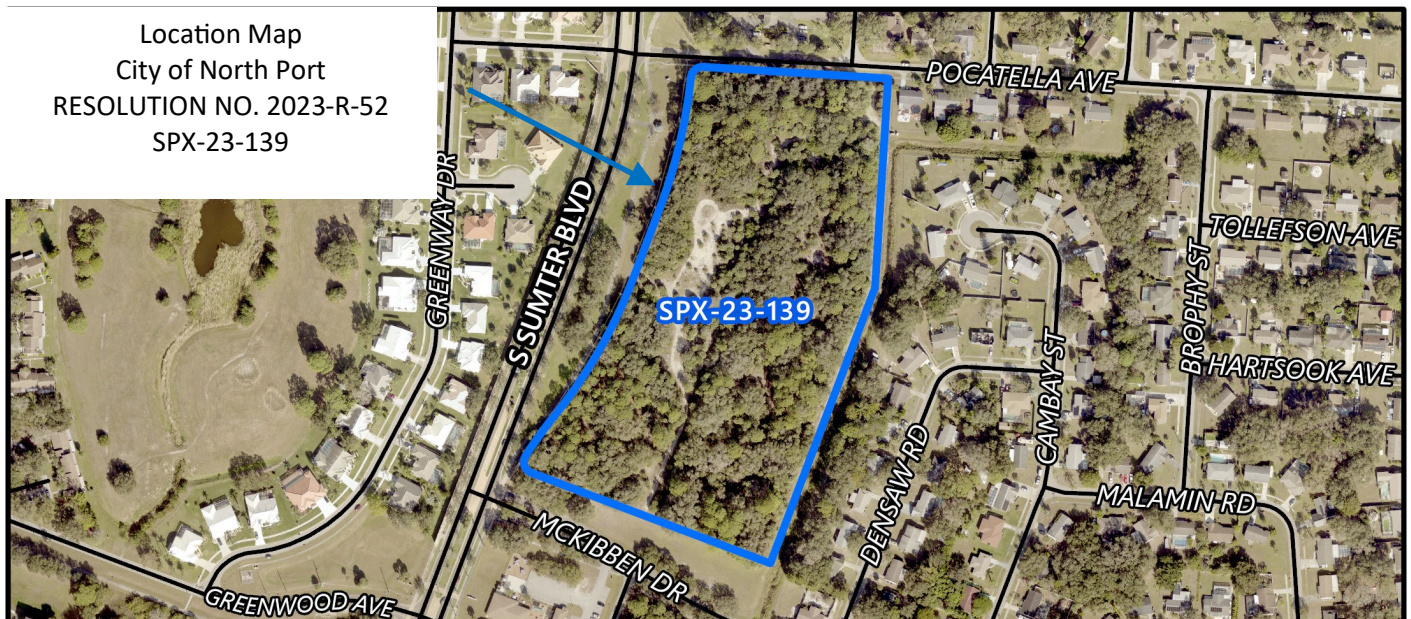
A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
City of North Port
RESOLUTION NO. 2023-R-52
SPX-23-139



City of North Port - Location Map
SPX-23-139, Pocatella Ave Mixed Use



 Petition Boundary

0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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MOESSNER JULIA L
 MOESSNER MARK
 4668 MONGITE RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

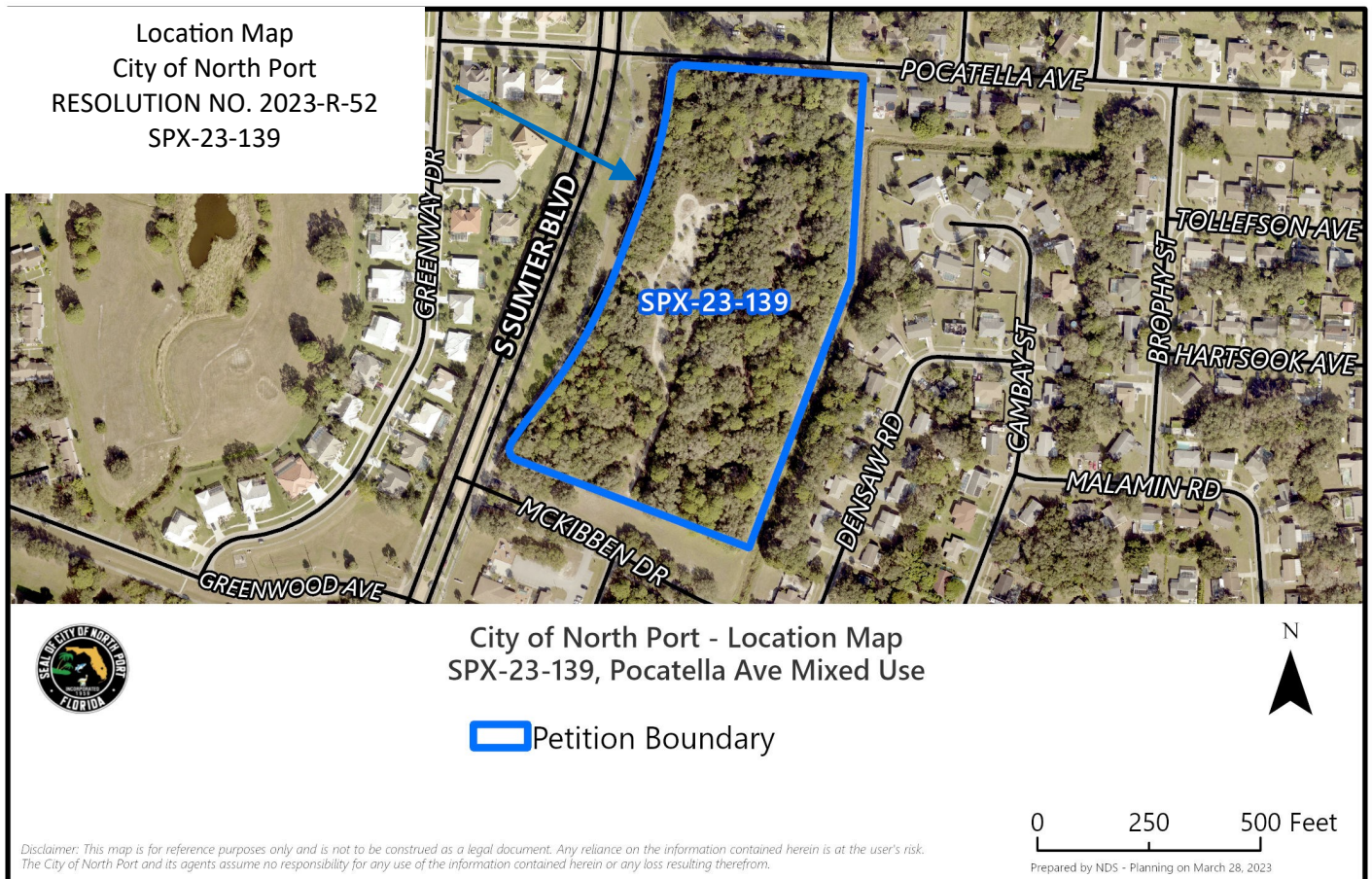
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MOLINA-ALVAREZ JAIME
 LEGON MARISEL BACERRA
 4717 MCKIBBEN DR
 NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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MOORE CAROL A

4615 PAYNE ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2325

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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MORGAN JEANNE

5960 PANORAMA LN

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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MORROW ZACHARY WILLIAM

5664 NIBLICK PL

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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MORSE FRANK J
 MORSE GLORIA M
 4499 TOLLEFSON AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2807

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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MUNRO JESSICA LYNN

5240 BROPHY ST

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
Neighborhood Development Services
Planning & Zoning Division
4970 City Hall Boulevard
North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
NOTICE OF PUBLIC HEARINGS
FOR RESOLUTION NO. 2023-R-52
SPX-23-139**

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MURPHY JAMES G

5040 GREENWAY CT

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

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Location Map
City of North Port
RESOLUTION NO. 2023-R-52
SPX-23-139



City of North Port - Location Map
SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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MURRAY RONALD D
 MURRAY TRICIA S
 4567 MONGITE RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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MUTTY GREGORY
 MUTTY KAYLA
 4700 ABADAN ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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NELSON RICHARD J
 NELSON BARBARA J
 5468 DENSAW RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2837

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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NORTH PORT RETIREMENT CTR INC

4950 POCATELLA AVE

NORTH PORT, FL 34287-2333

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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NORTH PORT RETIREMENT CTR INC

4950 POCATELLA AVE

NORTH PORT, FL 34287

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Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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ODONNELL HUGH MICHAEL
 ODONNELL CHERYL ANN

5247 DENSAW RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2862

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

Disclaimer: This map is for reference purposes only and is not to be construed as a legal document. Any reliance on the information contained herein is at the user's risk. The City of North Port and its agents assume no responsibility for any use of the information contained herein or any loss resulting therefrom.



City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

OLDJA VICTOR
 OLDJA ELAINE T
 4854 ABADAN ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2301

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
Neighborhood Development Services
Planning & Zoning Division
4970 City Hall Boulevard
North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
NOTICE OF PUBLIC HEARINGS
FOR RESOLUTION NO. 2023-R-52
SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

OSBORN HUGH A

5051 GREENWAY DR

NORTH PORT, FL 34287-3185

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
City of North Port
RESOLUTION NO. 2023-R-52
SPX-23-139



City of North Port - Location Map
SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

PANECKI JOHN
 PANECKI KAREN ROSE
 4608 MARALDO AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2831

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

PAPP IHOR
 PAPP ANNA

4762 ESCALANTE DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2840

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

PARCHMENT TANESHA
 PARCHMENT KEINO
 4623 MARALDO AVE
 NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

PATEL ILA

5830 NIBLICK PL

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

PEREIRA SHERRYL

5315 MALAMIN RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2832

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

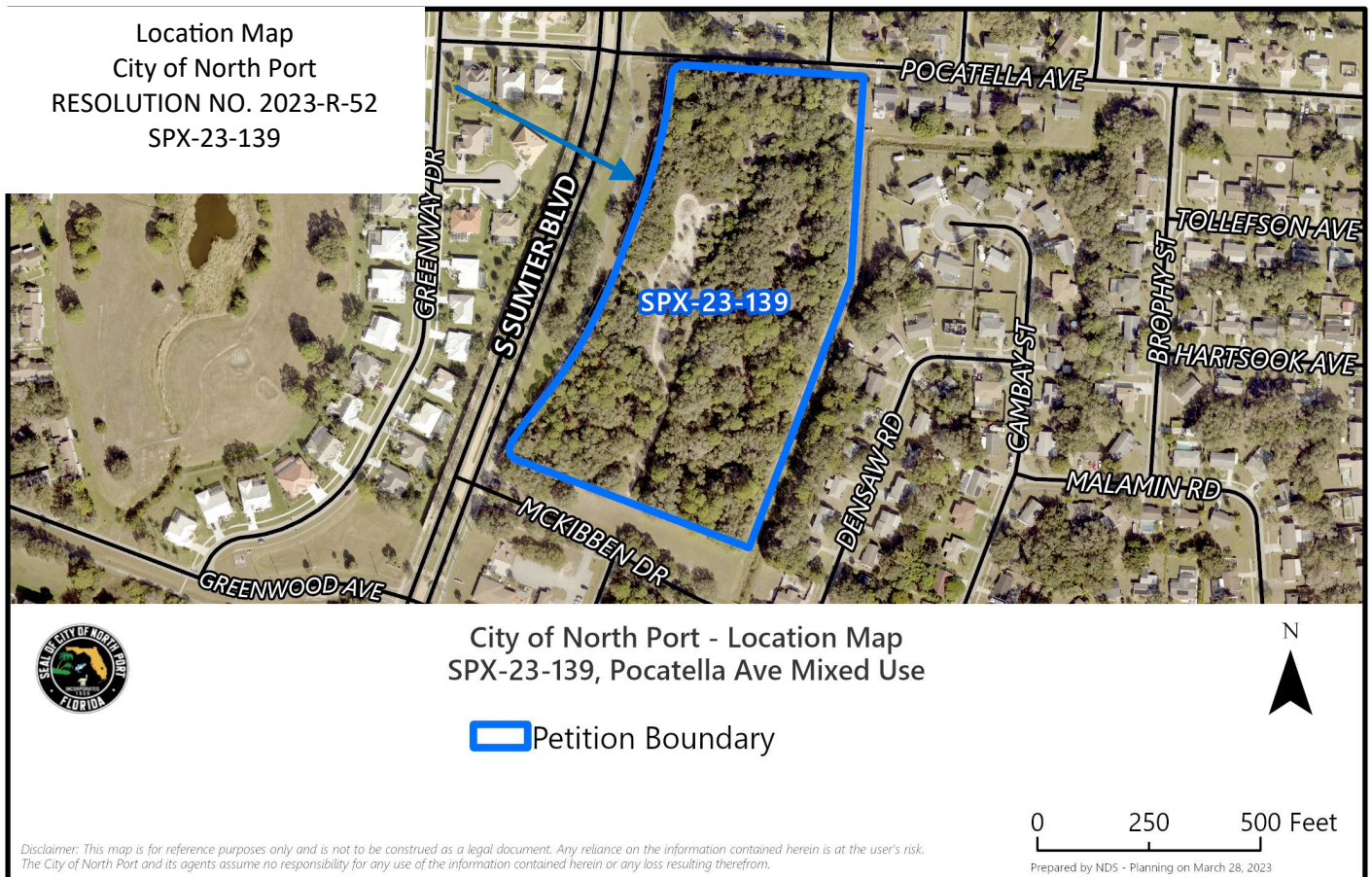
NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

PERETIATKO WALTER
 PERETIATKO MARIA
 5011 GREENWAY DR
 NORTH PORT, FL 34287-3143

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

PETTIT MICHAEL V
 PETTIT ALECIA S
 5360 CAMBAY ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2865

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

PITTS WILLIAM
 PITTS PATRICIA

4751 SALADINO AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

PLIS ARLENE D

5023 GREENWAY DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-3143

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

POMORIN VIRGIL W
 POMORIN CAROL A
 4609 MONGITE RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2868

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

POTVIN DAVID
 HARMON JENNA

4691 POCATELLA AVE

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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PRYCE RUDOLPH
 PRYCE ALBERTHA

4464 BARODA AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2877

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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PYLES CHERYL A

5656 LINKSMAN PL

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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RADINOVIC SUSAN

4736 SALADINO AVE

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

REVOCABLE OGOU TRUST

4740 ESCALANTE DR

NORTH PORT, FL 34287-2840

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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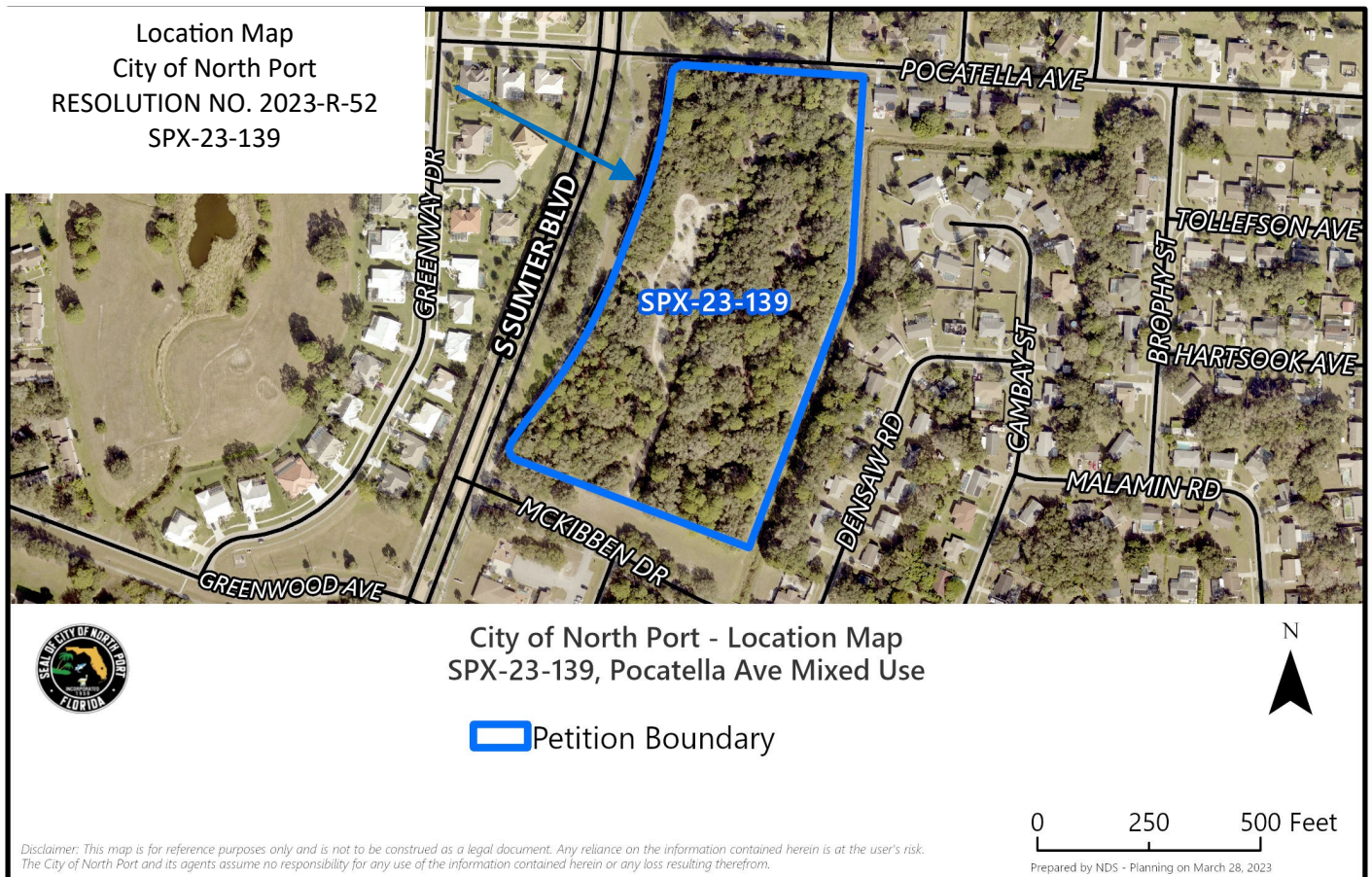
REVOCABLE TRUST U/A/D 10/27/2016
 BENTON ROBERT ELLERY (TTEE)
 BENTON DORIS TICHY (TTEE)
 5048 GREENWAY DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-3142

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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RICHARD L SITTON REVOCABLE LIVING TRUST
 SITTON RICHARD (TTEE)
 SITTON JOAN (TTEE)
 5046 GREENWAY DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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RIVERA ANA MARIA

5282 CAMBAY ST

NORTH PORT, FL 34287

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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ROCHE AMY

3838 LA ROCHA ST

NORTH PORT, FL 34287

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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RODNEY MARY D

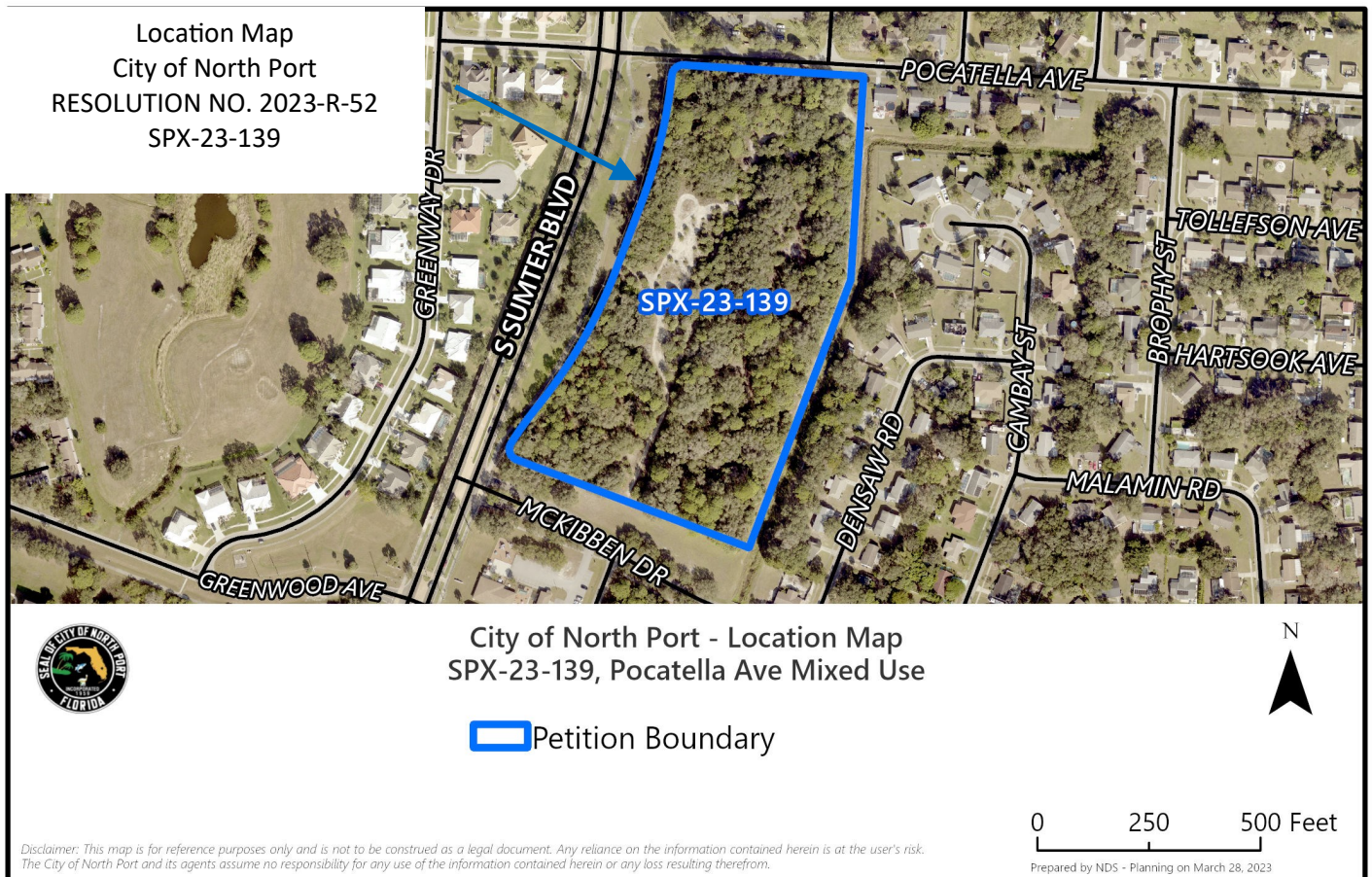
5261 SIMRAK ST

NORTH PORT, FL 34287-2810

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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RODRIGUEZ LUIS

4990 CUMBANO ST

NORTH PORT, FL 34287-2306

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

Disclaimer: This map is for reference purposes only and is not to be construed as a legal document. Any reliance on the information contained herein is at the user's risk. The City of North Port and its agents assume no responsibility for any use of the information contained herein or any loss resulting therefrom.



City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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RODRIGUEZ PEDRO J PALENZUELA

4765 PAYNE ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2314

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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ROESSLER HEATHER

5357 SIMRAK ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2810

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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ROME STEPHANE

5300 MALAMIN RD

NORTH PORT, FL 34287

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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RONALD I FISHER REVOCABLE TRUST

4905 PAYNE ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2332

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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RUMENAP ROLAND G
 RUMENAP JANIECE L
 5121 CAMBAY ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

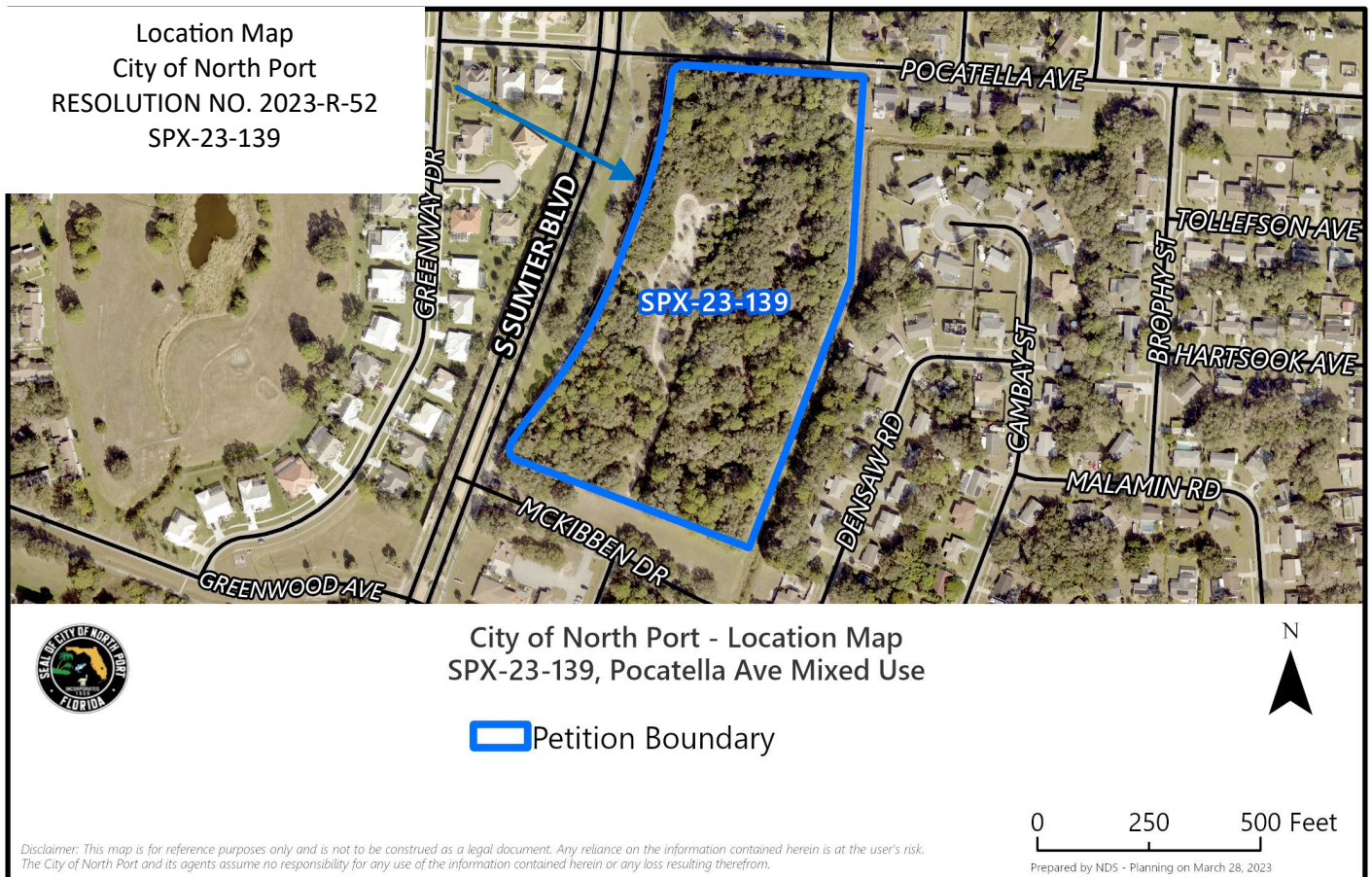
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RUSKEY CATHERINE M
 RUSKEY SCOTT F
 5039 GREENWAY DR
 NORTH PORT, FL 34287

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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SABINO RAUL A

4810 ABADAN ST

NORTH PORT, FL 34287-2301

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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SABOL ALAN P
 SABOL WILMA G

1528 SCARLETT AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34289-9467

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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SAHM NELSON R JR

4710 CUMBANO ST

NORTH PORT, FL 34287

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

SALO JEFFREY L
 SALO ELIZABETH ANN
 5643 BLIFFERT ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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SARAH N KAUK REVOCABLE TRUST
 KAUK SARAH N (TTEE)

5435 CAMBAY ST

NORTH PORT, FL 34287

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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SB&G LIMITED HOLDINGS LLC

12233 TRIONFO AVE

NORTH PORT, FL 34287-1251

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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SB&G LIMITED HOLDINGS LLC

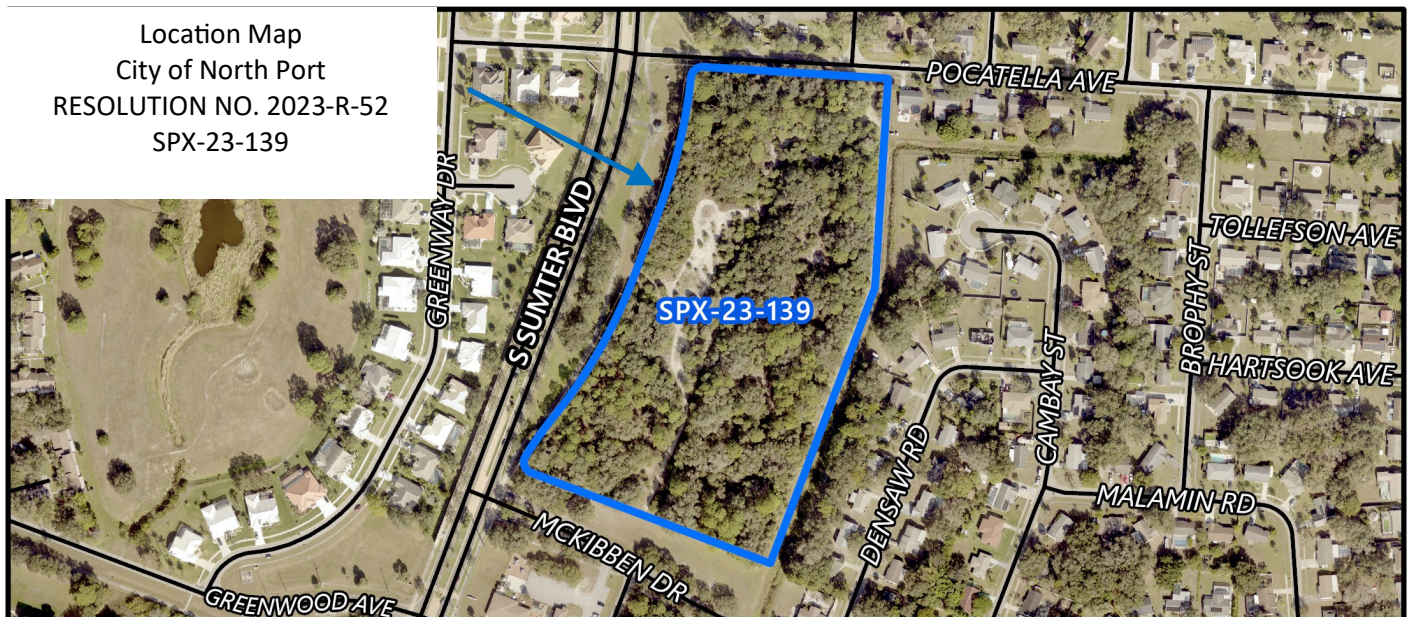
12233 TRIONFO AVE

NORTH PORT, FL 34287

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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SCHENK JOHN B
 SCHENK JANICE E

5695 BATTERSEA AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34291-5692

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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SCHMIDT ADDIE
 LANDIS TINA
 LANDIS RODNEY D
 5061 RICHMOND TER

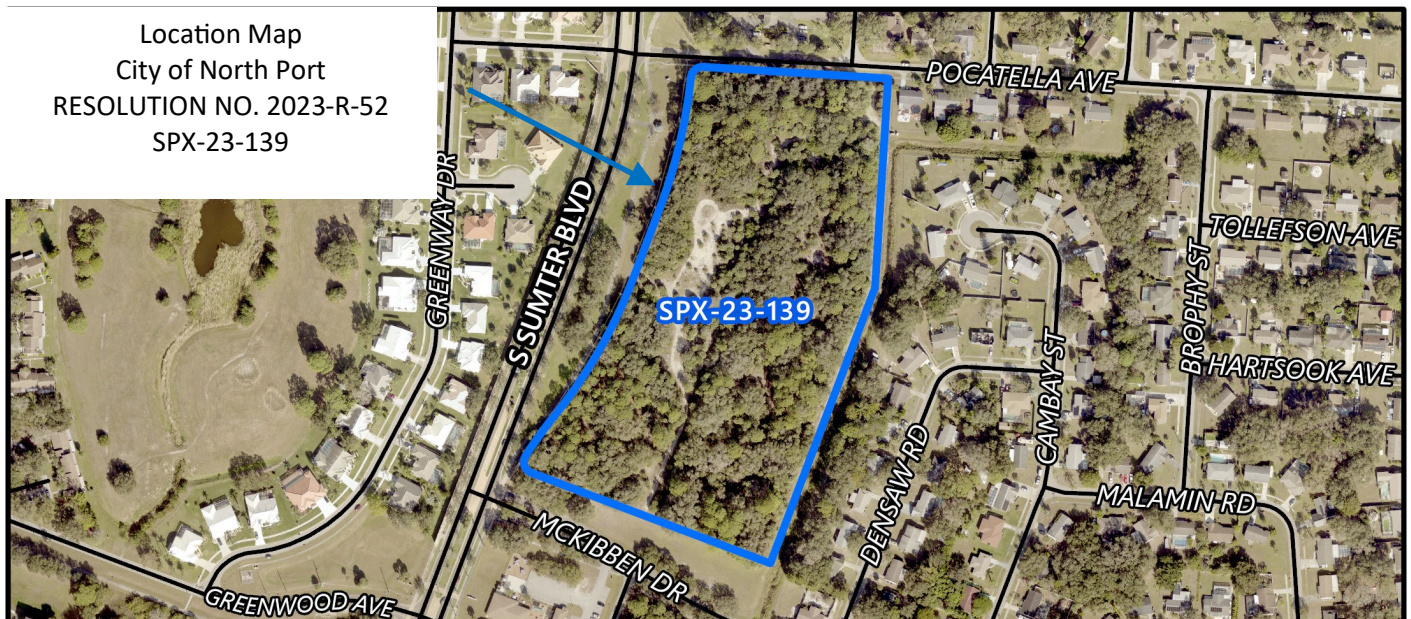
A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
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SCICCHITANO BRUNO JOSEPH JR

5075 GREENWAY DR

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NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
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 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
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SEDLAR EVELYN YURIDIA
 SEDLAR EDUARDO JAVIER
 4461 POCATELLA AVE
 NORTH PORT, FL 34287

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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SEEPE JOHN E III
 SEEPE MICHELLE M
 5011 POCATELLA AVE
 NORTH PORT, FL 34287

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City of North Port
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 Planning & Zoning Division
 4970 City Hall Boulevard
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SEPEZY TIMOTHY
 SEPEZY REBECCA

4566 HARTSOOK AVE

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NORTH PORT, FL 34287

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
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 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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SIDILAU CHAD
 SULLIVAN KELLY

4435 TOLLEFSON AVE

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City of North Port
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SILVA JR JUAN
 SILVA KIMBERLY

4673 MONGITE RD

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NORTH PORT, FL 34287-2868

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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SIMMS LYNDSEY M

4521 BARODA AVE

NORTH PORT, FL 34287

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



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 Planning & Zoning Division
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SMITH CHERYL LYNN

5942 BEAUMONT LOOP

NORTH PORT, FL 34287

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
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SOKOLOV ARMANDO

4385 POCATELLA AVE

NORTH PORT, FL 34287-2815

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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STACKHOUSE RHONDA

4743 MCKIBBEN DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2826

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

STERLING LIVING TRUST
 STERLING JAMES J (TTEE)
 STERLING SUSAN J (TTEE)
 4502 BARODA AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2877

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

STEVENS GERALD (E LIFE EST)
 STEVENS DONNA M (E LIFE EST)

5063 GREENWAY DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-3185

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

STRAUGHAN ROBERT
 STRAUGHAN MARSHA

4744 ABADAN ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2301

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

STROKER TRUST
 STROKER FRANK J JR (TTEE)
 STROKER BERTHA G (TTEE)
 4541 BARODA AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2883

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

STRONG RYAN

5470 MALAMIN RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2850

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

SUPRIADKIN GENNADII
 BAZHENOVA IULIIA

4674 PAYNE ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2323

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

TARASENKO DOMKA
 TARASENKO ALENA
 5498 DENSAW RD

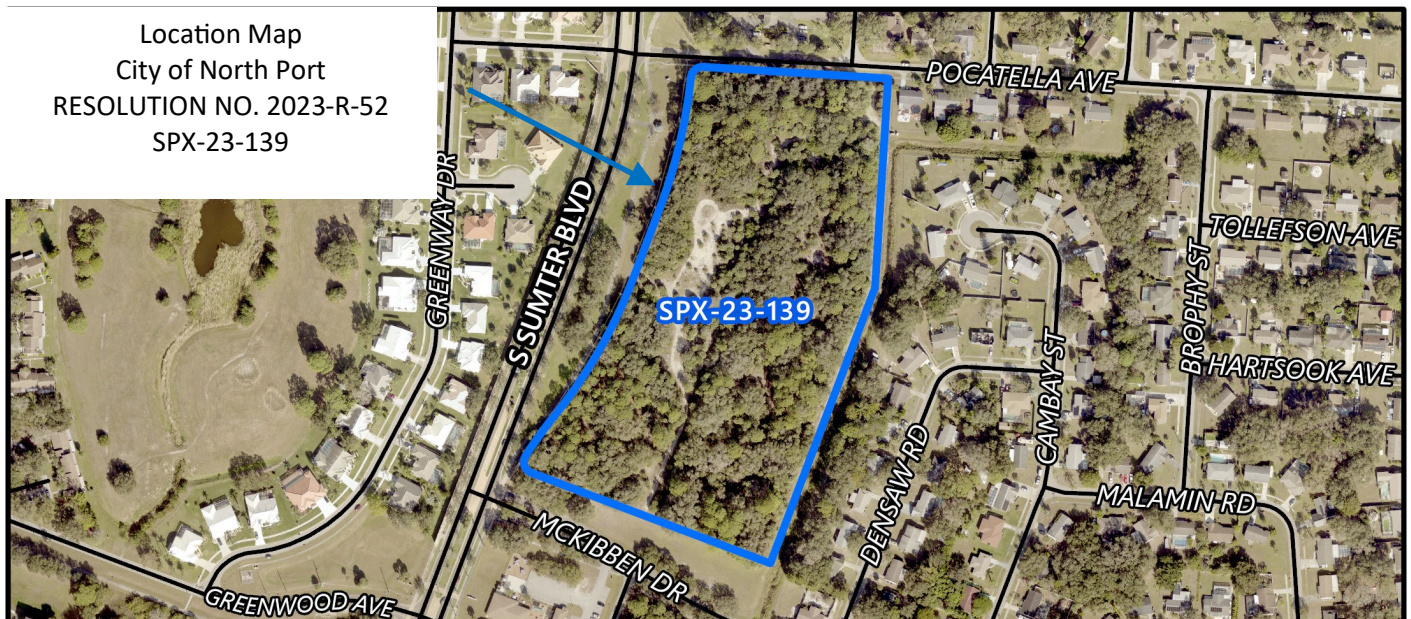
A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

TAYLOR KEVIN JOHN

4613 MC KIBBEN DR

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

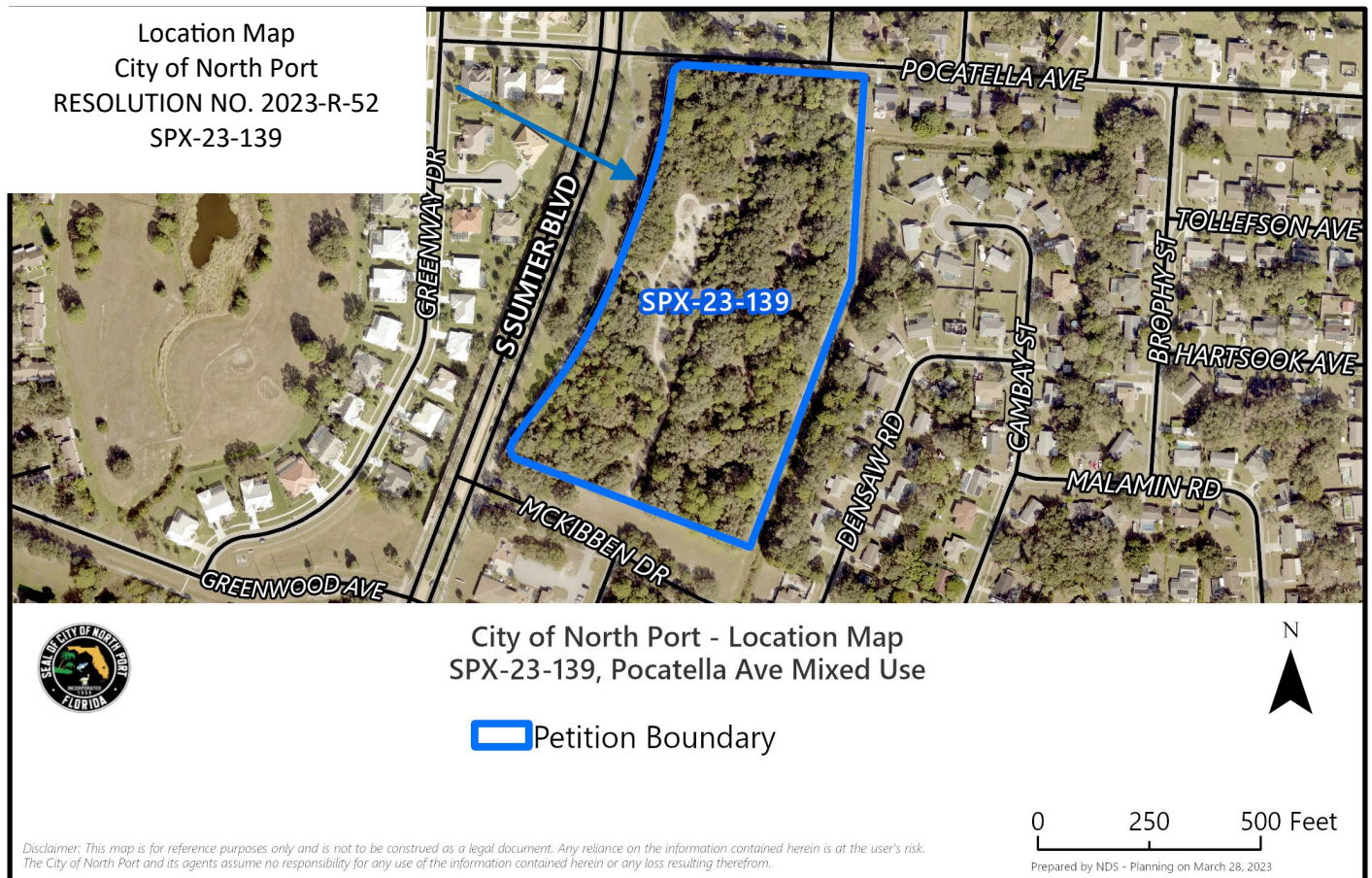
NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

TEASDALE RAYMOND E JR
 TEASDALE TAMMY LYNN
 5420 CAMBAY ST
 NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

THALMAN GARY R

5042 GREENWAY DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-3142

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

THOMAS ELDA R
 KAMP JAMES R
 1322 MAIN ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34286

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

THOMPSON ORVILLE
 THOMPSON BEVERLEY E
 4899 ABADAN ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

TILSON SUELI

5014 POCATELLA AVE

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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TORCHIA STEPEHN F
 TORCHIA PATRICIA A
 5332 LINKSMAN PL

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-3132

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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TORCHIA STEPHEN F
 TORCHIA PATRICIA A
 5332 LINKSMAN PL

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-3132

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

Disclaimer: This map is for reference purposes only and is not to be construed as a legal document. Any reliance on the information contained herein is at the user's risk. The City of North Port and its agents assume no responsibility for any use of the information contained herein or any loss resulting therefrom.



City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

TOWNE RICHARD B
 TOWNE SALLY A

5027 GREENWAY DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

TROYER CYNTHIA M

5390 CAMBAY ST

NORTH PORT, FL 34287-2865

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

TRUST U/A/D 01/26/2007
 MARELIC SVETKO (TTEE)

4566 POCATELLA AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2833

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

TSOURAKIS CHRISTOS
 TSOURAKIS LESLIE ANN
 4671 MARALDO AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

TUCCIARONE THOMAS A

4721 POCATELLA AVE

NORTH PORT, FL 34287-2317

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

USECHE TEOFILO

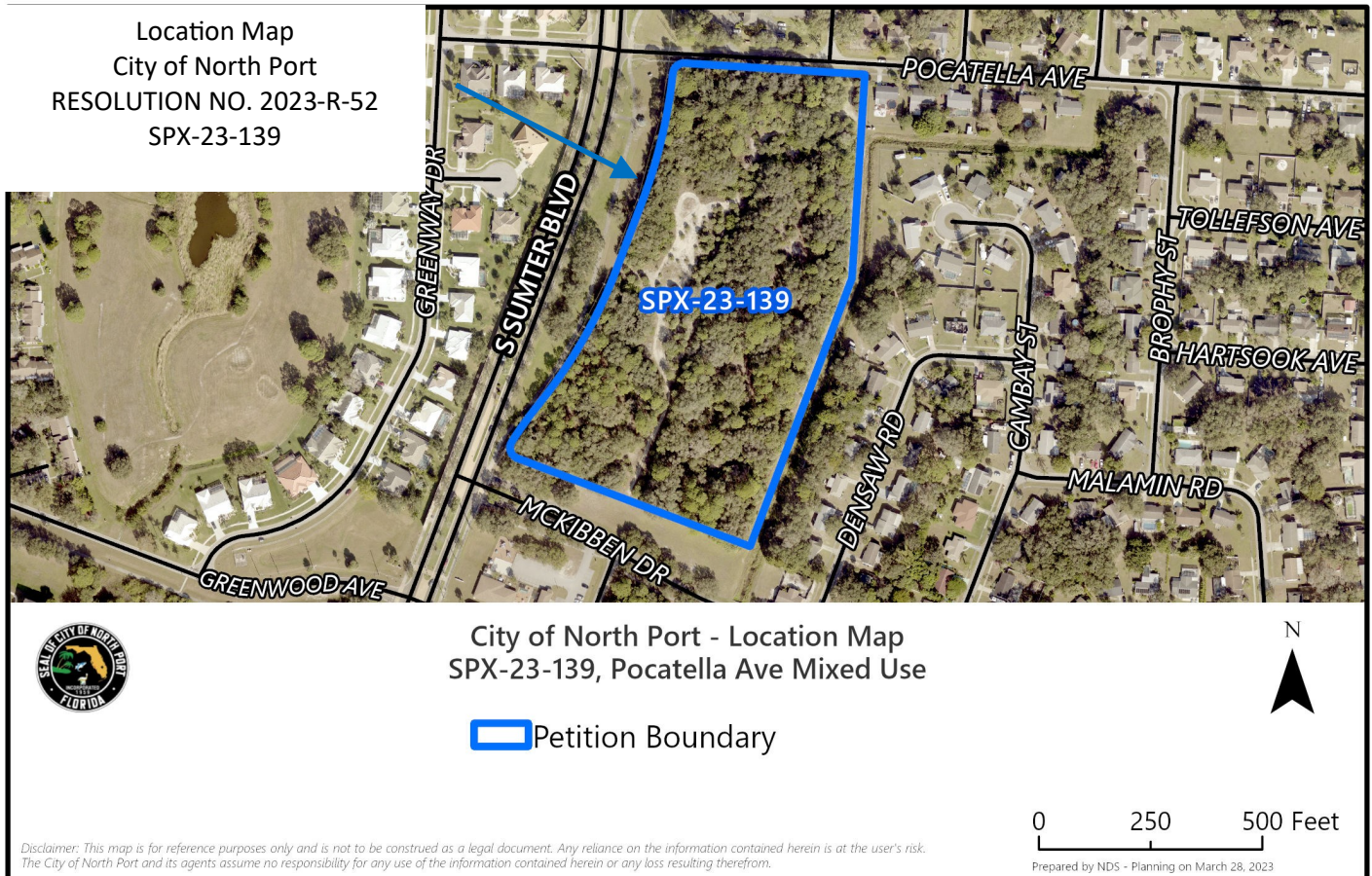
5013 POCATELLA AVE

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

VANDENWILDENBERG DANIEL M
 VANDENWILDENBERG CRISSY

4833 ABADAN ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2302

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

VARGAS NABOR D
 RODRIGUEZ GLORIA
 4734 ESCALANTE DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2840

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

VAVRA THOMAS V
 VAVRA SANDRA
 5005 KINGSLEY RD

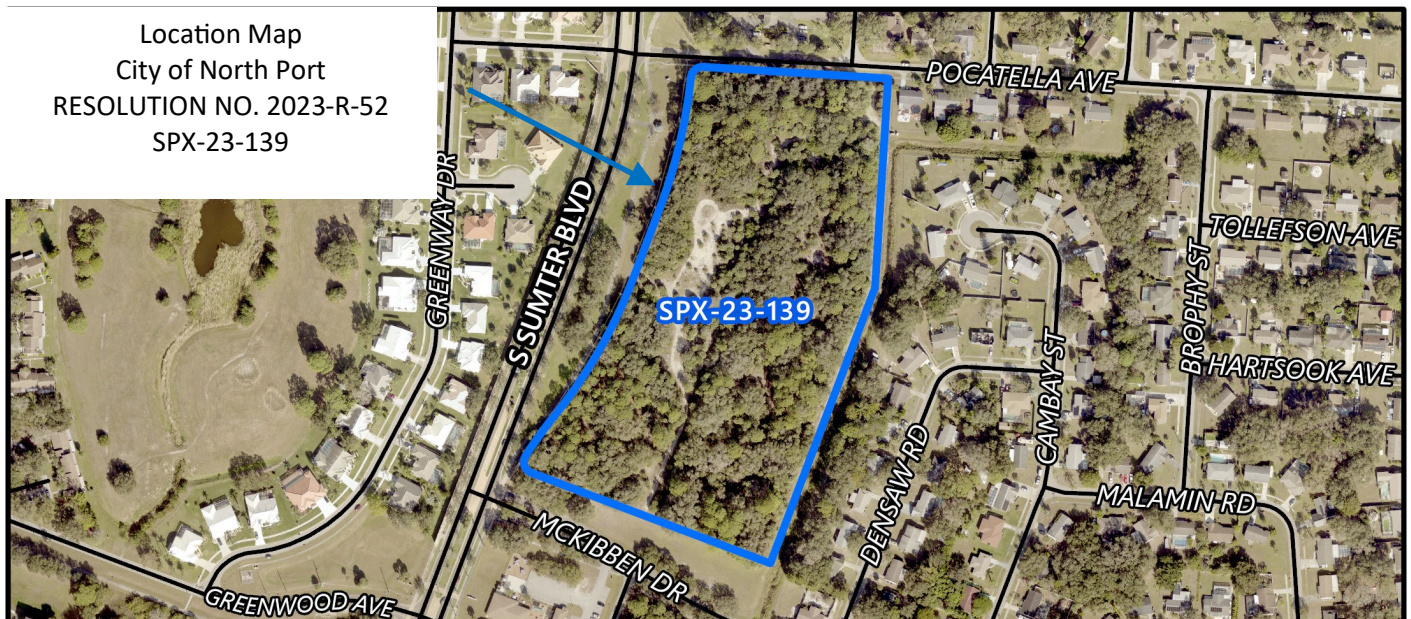
A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
Neighborhood Development Services
Planning & Zoning Division
4970 City Hall Boulevard
North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
NOTICE OF PUBLIC HEARINGS
FOR RESOLUTION NO. 2023-R-52
SPX-23-139**

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VIA RYAN J

4893 BATCHELOR AVE

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
City of North Port
RESOLUTION NO. 2023-R-52
SPX-23-139



City of North Port - Location Map
SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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Prepared by NDS - Planning on March 28, 2023.



City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

VILLAFANA ORLINE R
 VILLAFANA GARFIELD F
 11800 D ALLYON DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-1002

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

VOGT JAMES

4926 CALAH ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2869

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

WACTOWSKI JOSEPH D
 WACTOWSKI LUCILLE M
 5009 KINGSLEY RD
 NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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WALKSLER DEBORAH

5447 DENSAW RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2845

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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WALLACE JESSICA J

4500 TOLLEFSON AVE

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

WALSH CECELIA D

4794 CUMBANO ST

NORTH PORT, FL 34287-2306

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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WALTON MATTHEW A
 WALTON MIRANDA L
 5629 BLIFFERT ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
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WARD ROBERT J
 WARD MARTHA A

3128 PONCE DE LEON BLVD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34291-5706

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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WATSON RUSSELL WILLIAM

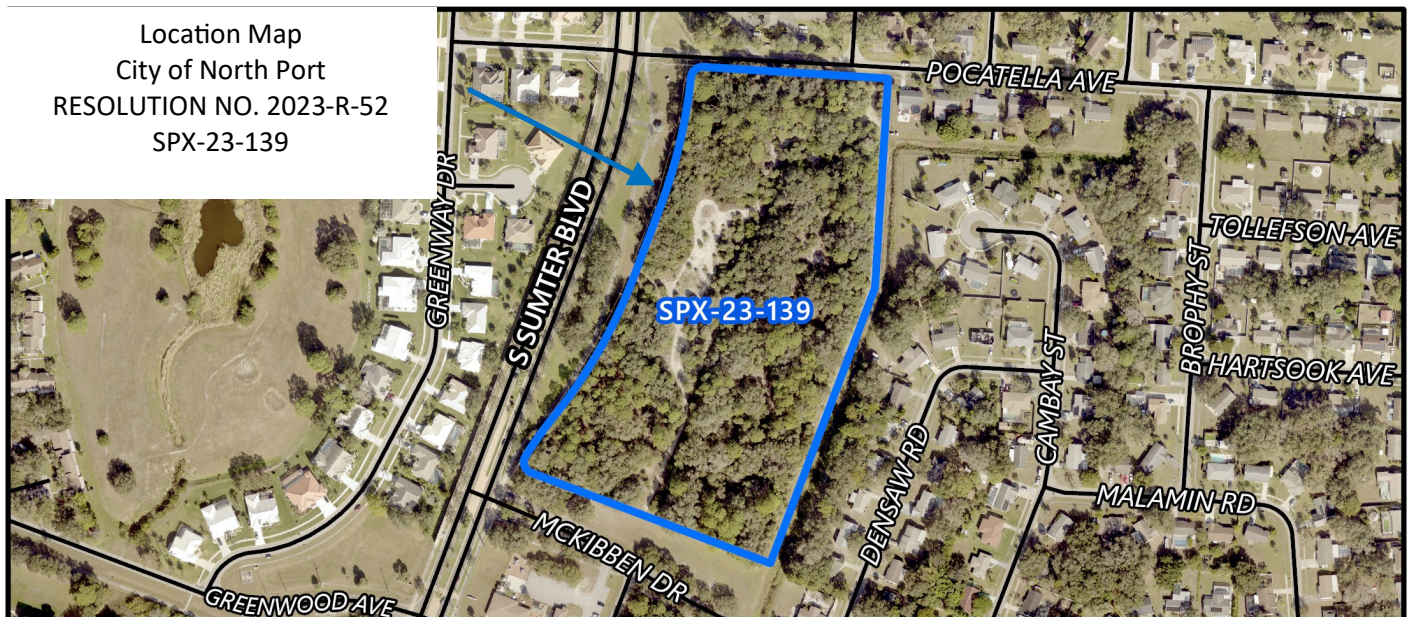
4557 MARALDO AVE

NORTH PORT, FL 34287-2884

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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WAYMAN JOSEPH A
 WAYMAN MARYELLEN R
 5239 MALAMIN RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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WEAVER KRISTINA R
 WARK TYLER

4706 SALADINO AVE

NORTH PORT, FL 34287

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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WEINGARTNER THOMAS

5315 CAMBAY ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2887

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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WESTMORELAND ROY FRANCIS
 WESTMORELAND GLORIA HENEDINA
 5122 CAMBAY ST

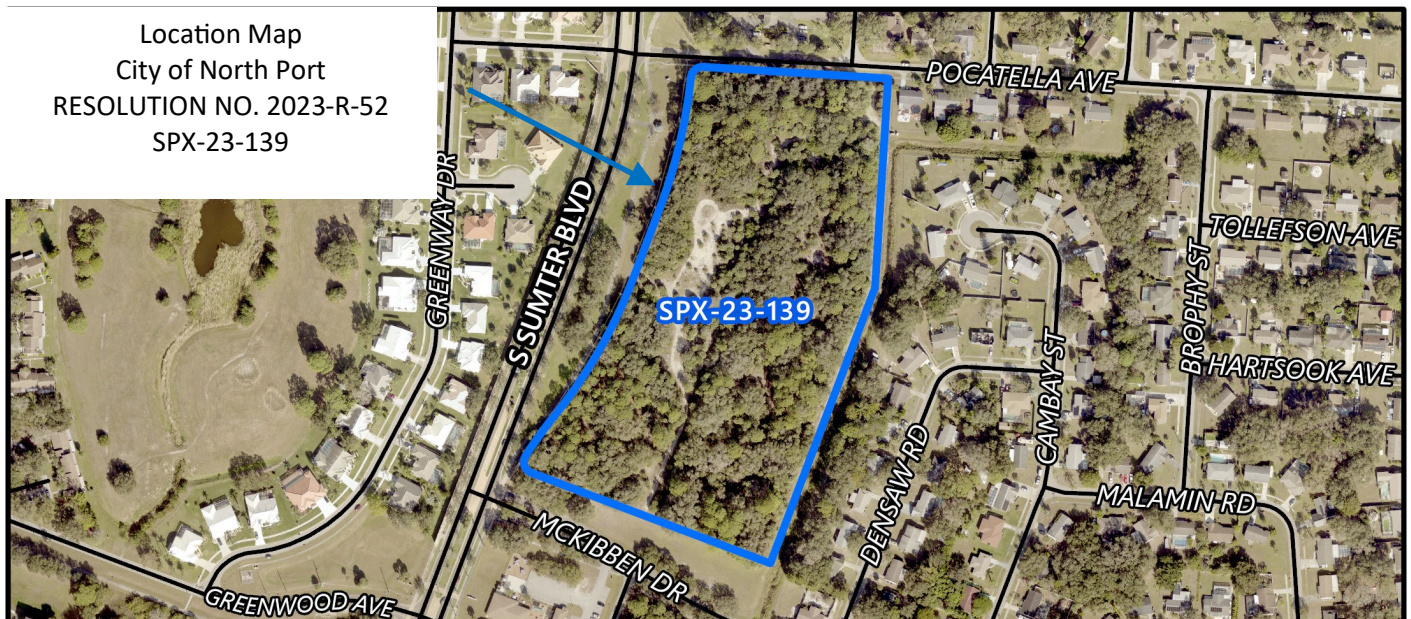
A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2881

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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WESTROM WESLEY J (E LIFE EST)
 WESTROM MARILYN D (E LIFE EST)
 2177 SILVER PALM RD
 NORTH PORT, FL 34288

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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WHITMIRE SHAWN TIMOTHY
 WHITMIRE CARRIE ANN

4995 PAYNE ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2332

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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WHITMORE DALE L
 WHITMORE ESTER P
 5108 CAMBAY ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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WILLIAMS MARK
 WILLIAMS GLORIA
 5632 NIBLICK PL

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NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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WOOD JOSEPH H
 WOOD JOANNE V
 5175 DENSAW RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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YORK ANGELIQUE M

4539 POCATELLA AVE

NORTH PORT, FL 34287-2815

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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ZAMBRANA WALTER
 ZAMBRANA GILDA E
 5433 POSTMA ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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ZIMMERMAN TRAVIS C
 ZIMMERMAN LISA M
 4662 POCATELLA AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287-2326

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

ZIRKELBACK ROBERT S

4962 CUMBANO ST

NORTH PORT, FL 34287-2306

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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ZUBL MARSHA
 ALLAN PAUL

4754 ESCALANTE DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH PORT, FL 34287

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CAN INVESTMENT GROUP LLC

14035 NW 19TH AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

OPA LOCKA, FL 33054

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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AMENT SOUTH LLC

901 TAMIAMI TRL

PORT CHARLOTTE, FL 33953

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Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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MC VETY BLAIR A
 MC VETY RENEE M
 1181 CHESIRE ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

PORT CHARLOTTE, FL 33953-2220

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CHERIE T SMEDLEY IRREVOCABLE OBRA TRUST
 SMEDLEY CHERIE T (F/B/O)

C/O ROBIN VAZQUEZ (TTEE)
 6230 SCOTT ST UNIT 211

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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F & A ATLANTIC INC

24489 VIENISON LN

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

PUNTA GORDA, FL 33955-5504

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
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ROUTZONG DEBORAH J

6468 ALAN BLVD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

PUNTA GORDA, FL 33982

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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TILSON LALENE M

6230 SCOTT ST UNIT 211

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

PUNTA GORDA, FL 33950

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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WHITAKER GABRIELLE
 WHITAKER KYLE

2900 S US HWY 41

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

RUSKIN, FL 33570

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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CHILD PROTECTION CENTER INC

720 S ORANGE AVE

SARASOTA, FL 34236

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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FARRELL PETER
 FARRELL GEORGINA

4272 MADEIRA CT UNIT 3325

SARASOTA, FL 34233

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
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 SPX-23-139**

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KRAFT DAVID A
 KRAFT RUTH

7209 SERENOA DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

SARASOTA, FL 34241

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
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PARIS ALECXANDER LEE MAXWELL

1824 MARBETH ST

SARASOTA, FL 34231

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
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WESTONE SERVICE INC

1153 RUSSELL AVE

SARASOTA, FL 34232

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
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BAY AREA TRUST LLC

1902 W MAIN ST

TAMPA, FL 33607

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
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 North Port, FL 34286

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NORTH PORT OMV II LLC

C/O OM VENTURES
 3607 S WESTSHORE BLVD
 TAMPA, FL 33629

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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SABAL TRACE DEVELOPMENTS PART-
 NERS LLC

101 S 12TH STREET STE 102

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
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16979 TTS LLC

7978 COOPER CREEK BLVD

UNIVERSITY PARK, FL 34201

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City of North Port
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 Planning & Zoning Division
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 North Port, FL 34286

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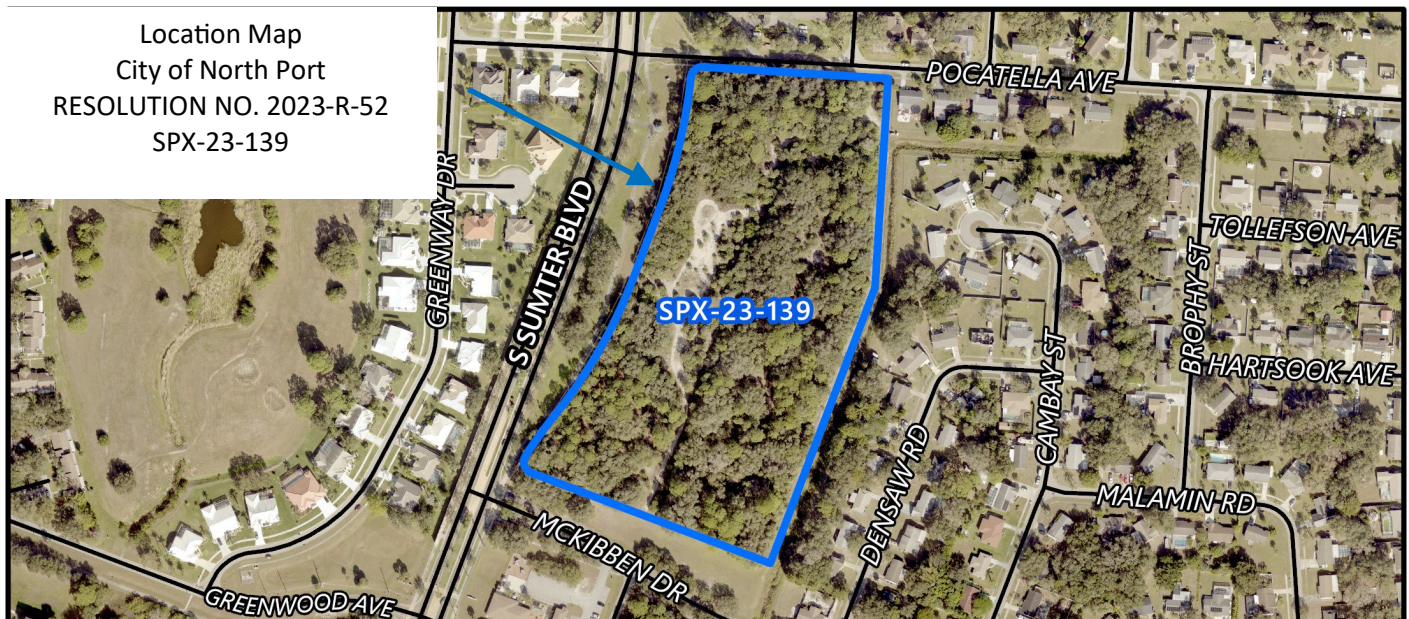
CABRERA LUCY
 MARTINEZ CARLOS
 ROCHA DIEGO
 884 BAYPORT CIR

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VENICE, FL 34292

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

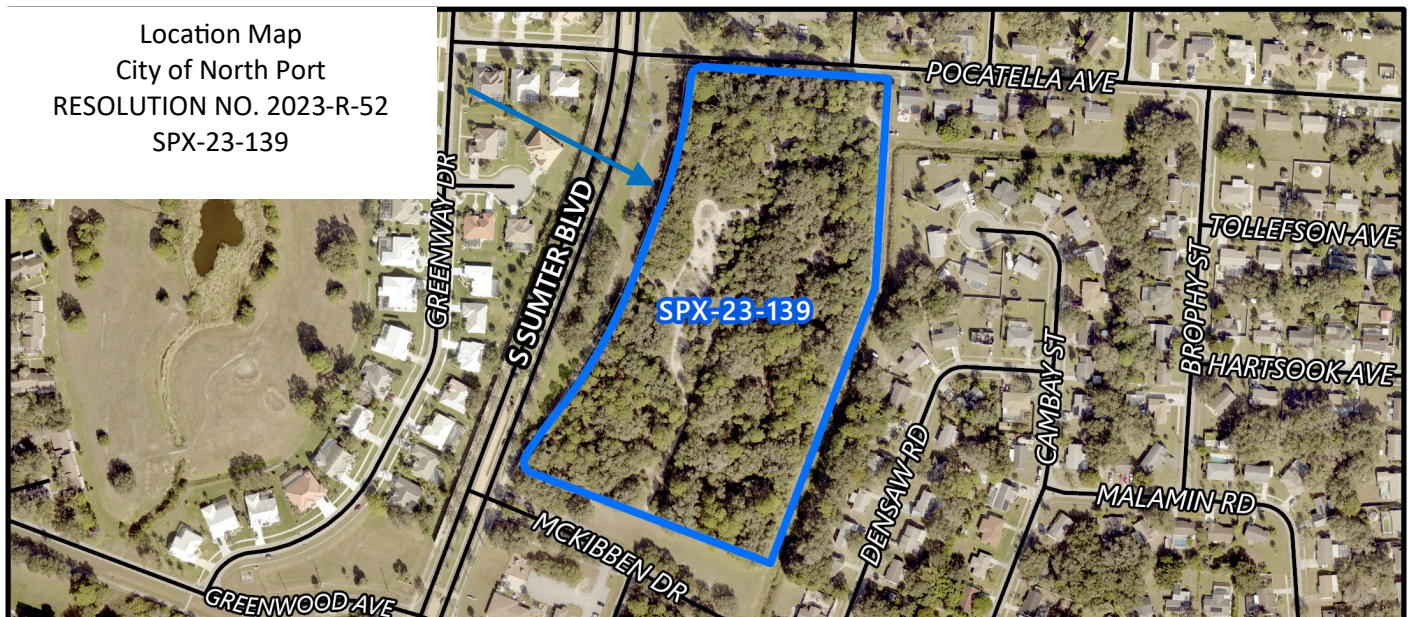
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MAHONEY SR KEVIN M
 MAHONEY GRETA M
 588 PARK ESTATES SQ
 VENICE, FL 34293-4165

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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POSTELL MELANIE H

1331 PINE NEEDLE RD

VENICE, FL 34285

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City of North Port
Neighborhood Development Services
Planning & Zoning Division
4970 City Hall Boulevard
North Port, FL 34286

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NOTICE OF PUBLIC HEARINGS
FOR RESOLUTION NO. 2023-R-52
SPX-23-139**

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SCHECK RONALD R
SCHECK MICHELE M
897 WOOD SORREL LN

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

VENICE, FL 34293-7255

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
City of North Port
RESOLUTION NO. 2023-R-52
SPX-23-139



City of North Port - Location Map
SPX-23-139, Pocatella Ave Mixed Use



 Petition Boundary

0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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SHOOP FAMILY TRUST

11241 BATELLO DR

VENICE, FL 34292

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
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VANRIPER KELLY JOHN
 OBRIEN DEVON LEIGH
 1202 FALLS OF VENICE CIR
 VENICE, FL 34292

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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DOMENECH EUNISWIDALY
 CARTAGENA BERNARDO
 17331 WHITE MANGROVE DR

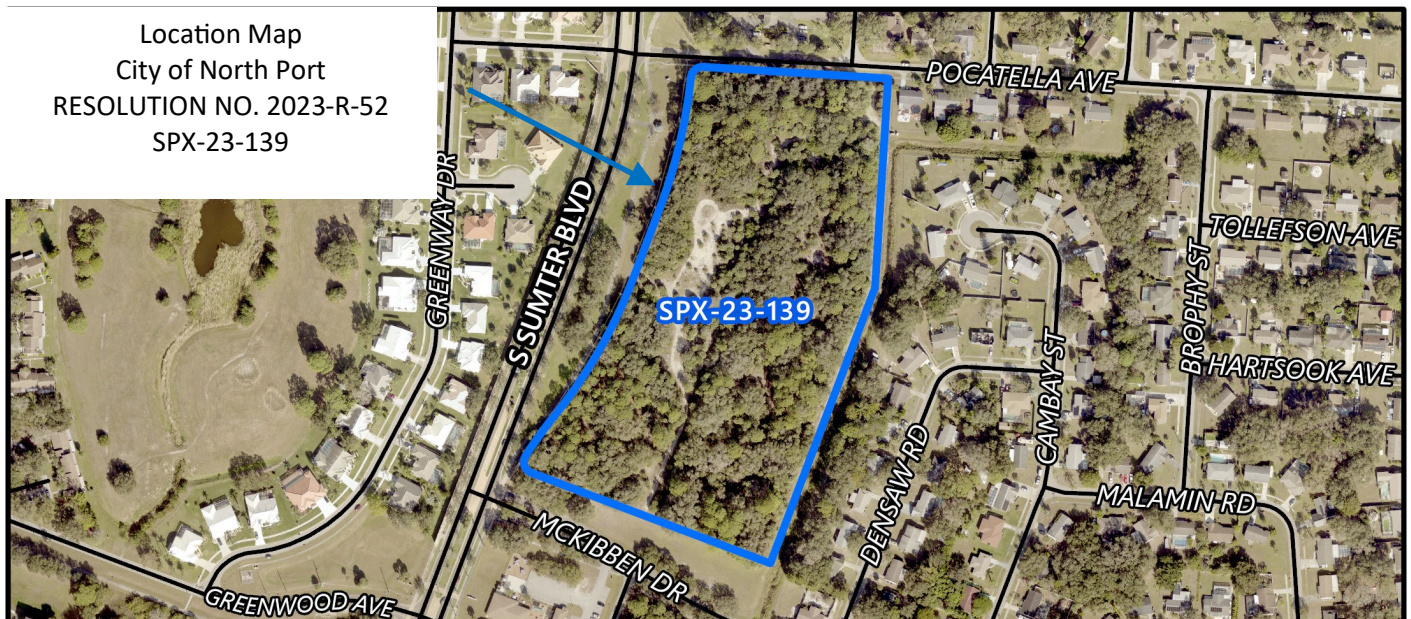
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WIMAUMA, FL 33598

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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CSMA FT LLC

1850 Parkway Place STE 900

MARIETTA, GA 30067

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
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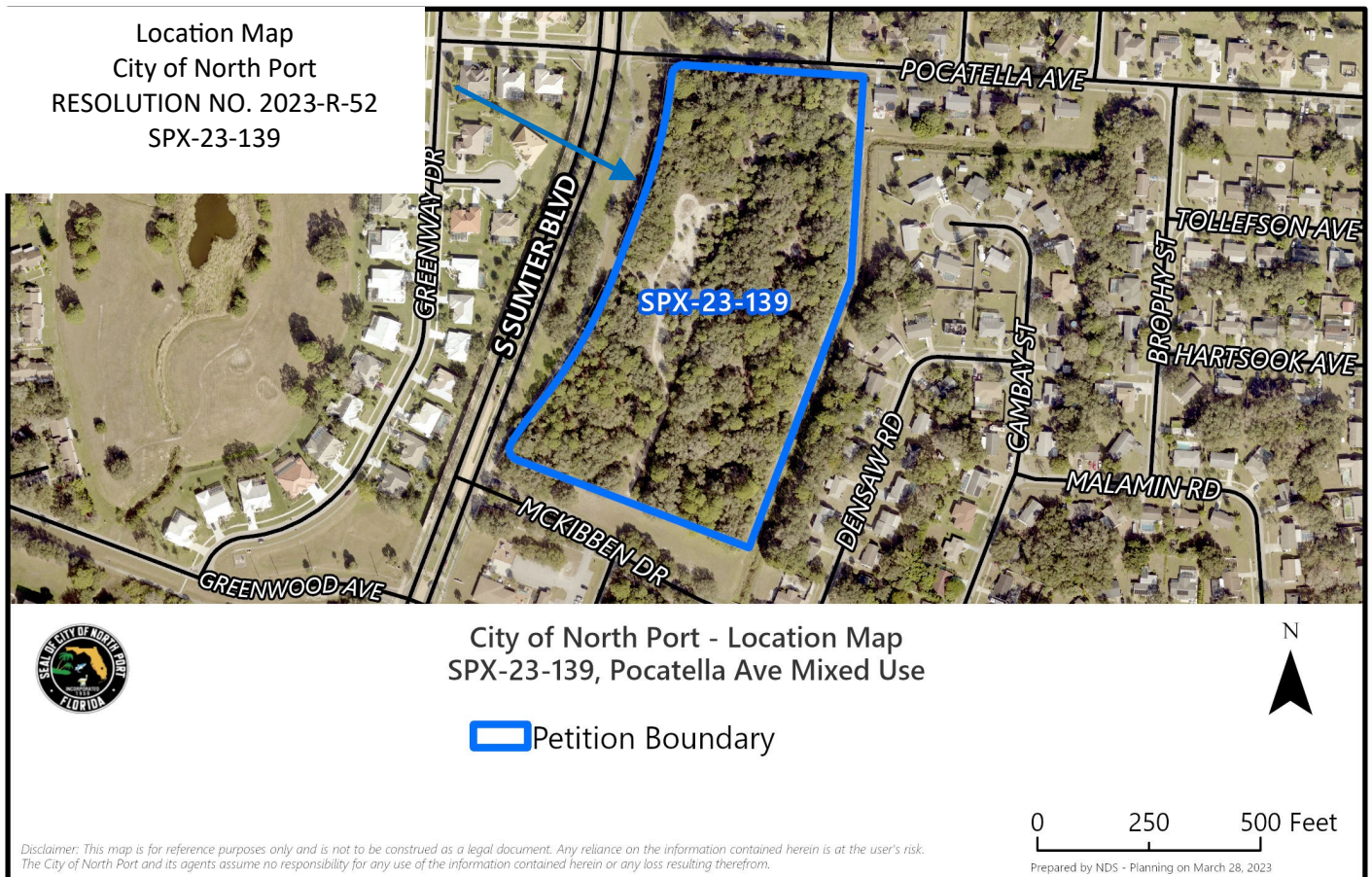
ELAINE JEAN GREIF FLORIDA REVOCABLE LIVING TRUST

786 MONTICELLO RD

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
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 FOR RESOLUTION NO. 2023-R-52
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GREIF JOSEPH P JR

1494 LINN DELAWARE RD

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COGGON, IA 52218

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
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 Planning & Zoning Division
 4970 City Hall Boulevard
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SFR II BORROWER 2021 3 LLC

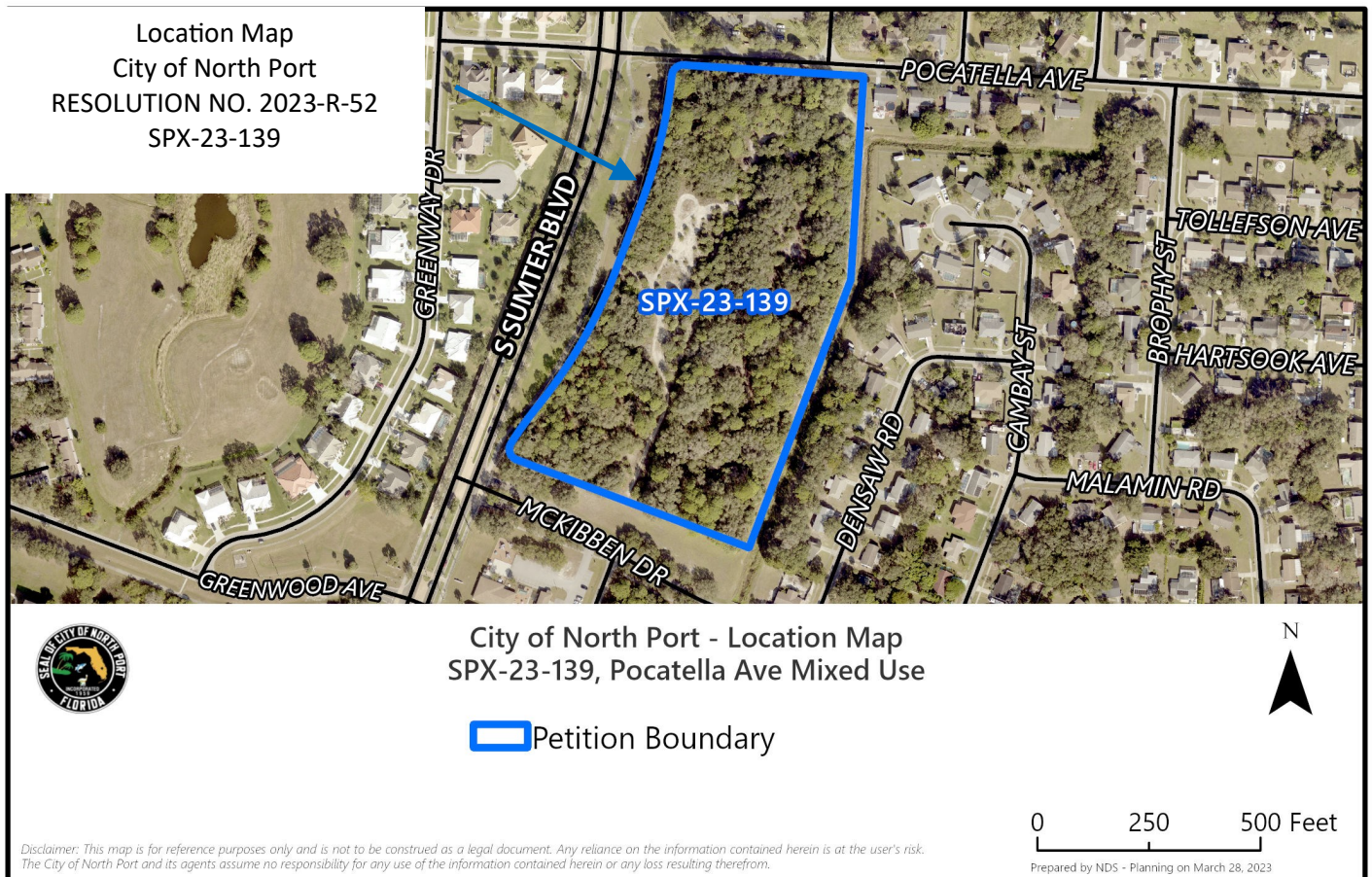
120 S RIVERSIDE PLAZA STE 2000

CHICAGO, IL 60606

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City of North Port
Neighborhood Development Services
Planning & Zoning Division
4970 City Hall Boulevard
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CUMBANO ST LLC

323 REGAL CT

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CLARENDON HILLS, IL 60514

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
City of North Port
RESOLUTION NO. 2023-R-52
SPX-23-139



City of North Port - Location Map
SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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 4970 City Hall Boulevard
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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

PETROW MICHAEL D
 PETROW GALINA T
 ON 757 BARRY AVE
 WHEATON, IL 60187

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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BOWSER MICHELE M

6296 S STATE ROAD 159

CARLISLE, IN 47838

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

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GROS ZORA
 JACOBS S LIBA
 MC LEOD DARA
 6620 E 84TH AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

MERRILLVILLE, IN 46410

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
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WARNER LORI J

198 SOUTH ROYALSTON RD

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ATHOL, MA 1331

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
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 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



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BREDERSON RICHARD A (E LIFE EST)

59 STONEY BROOK LN

ATTLEBORO, MA 2703

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



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LORETI MAUREEN
 LORETI LISA

8 PINEHURST AVE

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BEVERLY, MA 01915-4007

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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MAYNARD EARL

C/O TAMMY MCCARTHY
 53 FITZGERALD RD
 CHARLTON, MA 1507

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
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 4970 City Hall Boulevard
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RPM MANAGEMENT GROUP LLC

821 MCKINSTRY AVE

CHICOPEE, MA 01020-1513

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AGGANIS DEMO (LIFE EST)
 AGGANIS L PATRICIA (LIFE EST)
 SOUCY LAURIE J
 4 CHAPEL RD

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DANVERS, MA 01923-2408

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BIAGIANTI ANTONY

14 KAREN RD

FRAMINGHAM, MA 1701

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

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City of North Port
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STE MARIE KAREN J
STE MARIE DONALD A SR

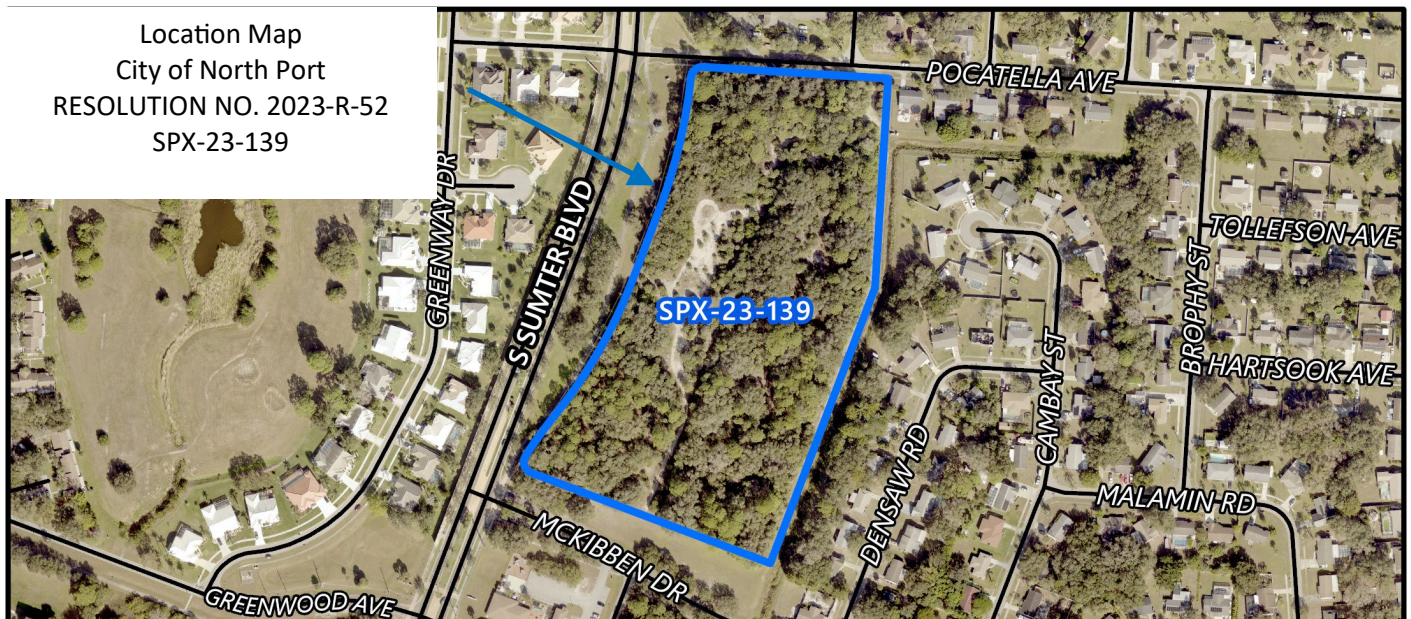
680 W LOWELL AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

HAVERHILL, MA 1830

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
City of North Port
RESOLUTION NO. 2023-R-52
SPX-23-139



City of North Port - Location Map
SPX-23-139, Pocatella Ave Mixed Use



 Petition Boundary

0 250 500 Feet

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City of North Port
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 Planning & Zoning Division
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 North Port, FL 34286

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WAGNER LEOPOLD O (LIFE EST)
 JACOBS JANEY S
 WAGNER DEBORAH L
 C/O DEBORAH WAGNER
 55 MONTGOMERY DR
 PLYMOUTH, MA 02360-5272

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

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IODICE JOSEPH W
 IODICE CAROLE
 67 LINCOLN ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

WATERTOWN, MA 02472-1951

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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NORTH PORT HEALTH INVESTORS LLC

7701 MARBURY RD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

BETHESDA, MD 20817-6226

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City of North Port - Location Map
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 Petition Boundary



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LORD BRUCE P SR

73 WINSLOW RD

GORHAM, ME 4038

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City of North Port
RESOLUTION NO. 2023-R-52
SPX-23-139



City of North Port - Location Map
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PETERSON THOMAS J
 PETERSON CHRISTINE C
 5 VINING ST

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

LISBON FALLS, ME 4252

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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DAVIS JAMES R
 DAVIS JANET L
 45325 STONEHEDGE DR
 PLYMOUTH, MI 48170

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 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
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HARDWOOD HILLS GOLF COURSE LLC

25485 NORDIC POINT DR

GLENWOOD, MN 56344

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BAUMAN WILLIAM H
 BAUMAN JEANNINE M

516 1ST ST S

VIRGINIA, MN 55792-2640

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

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CAROL A BAILEY REVOCABLE LIVING TRUST

26 ANDOVER DOWN

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City of North Port
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 Planning & Zoning Division
 4970 City Hall Boulevard
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BOVA DONALD R
 BOVA WENDY L
 132 WELLS VILLAGE RD
 SANDOWN, NH 3873

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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ANDERSON ROBERT
 ANDERSON LINDA
 2 LOCKE LN

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

SEABROOK, NH 03874-4592

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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SCHMITT FAMILY IRREVOCABLE TRUST

31 RUMSON CT

WARETOWN, NJ 8758

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HNATYSHYN OLEH
 ZHURAVKOVA YULIA

50 COLFAX RD

WAYNE, NJ 7470

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NIKOLIC RADOVAN
 NIKOLIC VESNA

31 POWDERHORN CT

WOODBIDGE, NJ 7095

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PAINTER DAVID
 PAINTER JENNILYN
 4437 BLUE JUNIPER LOOP

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SANTA FE, NM 87507

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
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 North Port, FL 34286

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PAINTER JENNILYN
 PAINTER DAVID
 4437 BLUE JUNIPER LOOP

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SANTA FE, NM 87507

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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TAMSUM LLC

570 DELAWARE AVE

BUFFALO, NY 14202

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

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City of North Port - Location Map
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0 250 500 Feet

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City of North Port
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HART WILLIAM W
 HART KATHLEEN A

27 CLEVELAND AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

FREDONIA, NY 14063-1901

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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RICCI DONNA LYNN

280 CHERRY VALLEY AVE APT B1

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

GARDEN CITY, NY 11530

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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 City of North Port
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 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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JOHNSON JAMES E JR
 JOHNSON DEBORAH L

3190 STATE HIGHWAY 10

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

JOHNSTOWN, NY 12095-4930

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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BORTZ HARRY A
 BORTZ BEVERLY A
 28 LADOGA PARK

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

LANSING, NY 14882

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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MILLS VERNE

6555 ANN LEE DR

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

NORTH ROSE, NY 14516-9512

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

ALTAMIRANO XAVIER
 VILLAMAR GUILLERMO
 13020 LEFFERTS BLVD

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

SOUTH OZONE PARK, NY 11420-2706

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
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MAKSYM BOGDAN
 MAKSYM IZOLDA

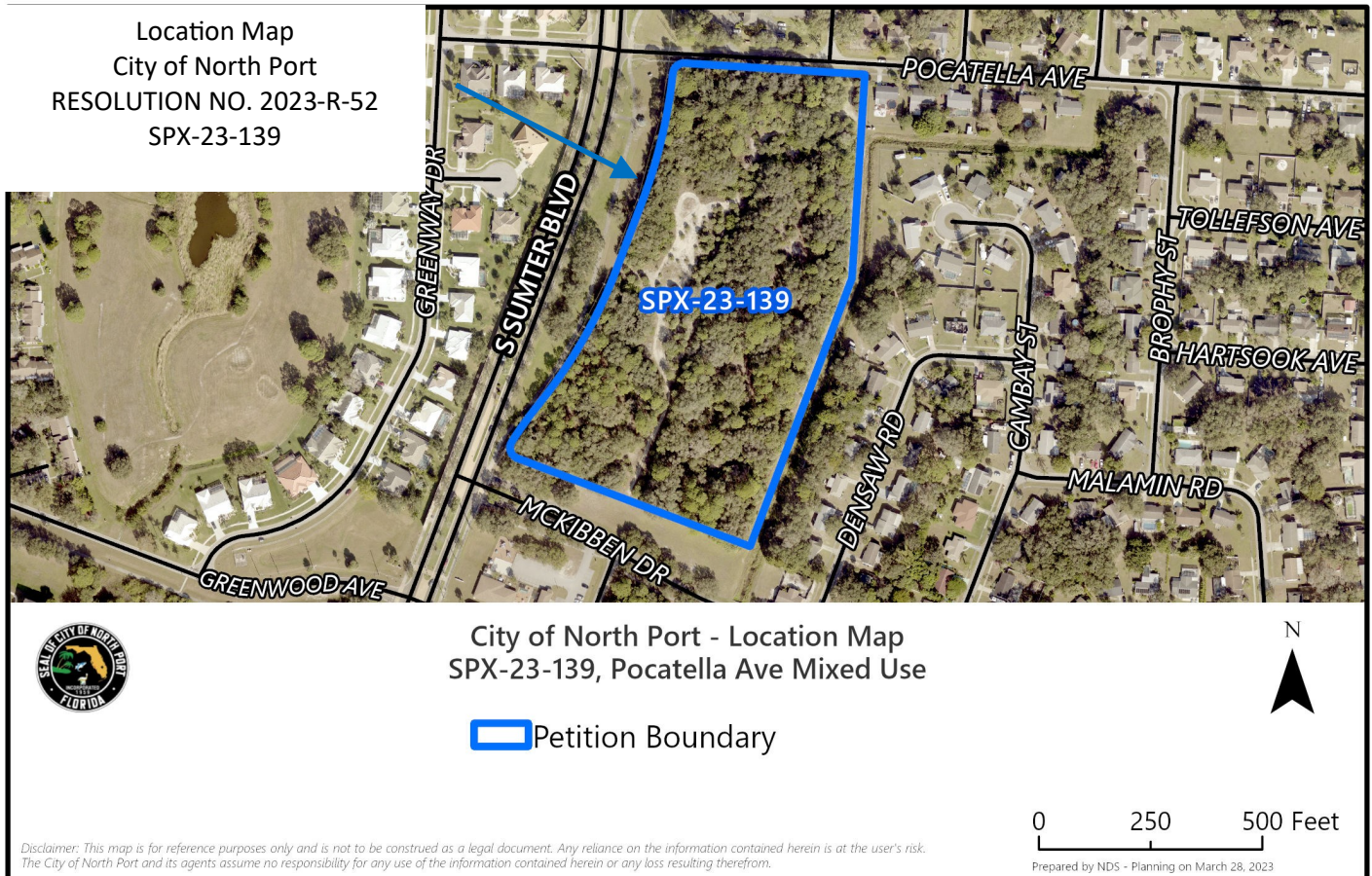
76 PACE DR S

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

WEST ISLIP, NY 11795-5100

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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VAN HORN HART
 VAN HORN LISA M
 3726 DURBIN RUN RD SE
 BREMEN, OH 34107

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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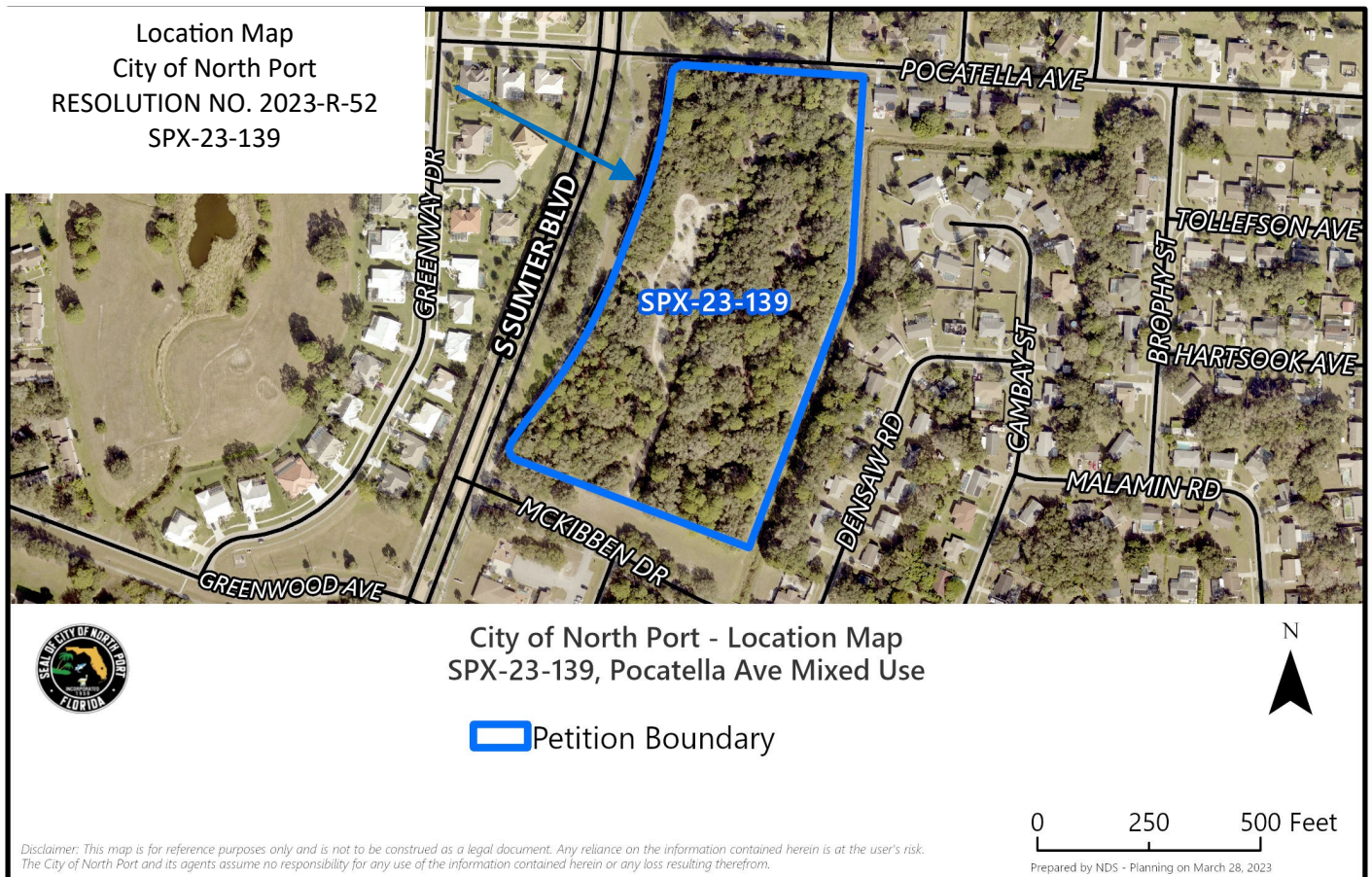
SNYDER LARRY E
 SNYDER BARBARA E
 7377 CROSSFIELD AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

MENTOR, OH 44060-7576

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
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WILES FRED

13566 KAUFFMAN AVE

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

STERLING, OH 44276-9601

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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GERALD P CREED REVOCABLE TRUST

1680 HUNTINGDON PIKE # 304

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

HUNTINGDON VALLEY, PA 19006

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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ARVM 5 LLC

5001 PLAZA ON THE LAKE STE 200

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AUSTIN, TX 78746

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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BAF 3 LLC

5001 PLAZA ON THE LK STE 200

AUSTIN, TX 78746

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

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BAF 3 LLC

5001 PLAZA ON THE LAKE # 200

AUSTIN, TX 78746

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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
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BAF ASSETS 2 LLC

5001 PLAZA ON THE LAKE STE 200

AUSTIN, TX 78746

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City of North Port
Neighborhood Development Services
Planning & Zoning Division
4970 City Hall Boulevard
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BAF ASSETS 3 LLC

5001 PLAZA ON THE LAKE STE 200

AUSTIN, TX 78746

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Location Map
City of North Port
RESOLUTION NO. 2023-R-52
SPX-23-139



City of North Port - Location Map
SPX-23-139, Pocatella Ave Mixed Use



 Petition Boundary

0 250 500 Feet

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City of North Port
 Neighborhood Development Services
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 North Port, FL 34286

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BAF ASSETS 4 LLC

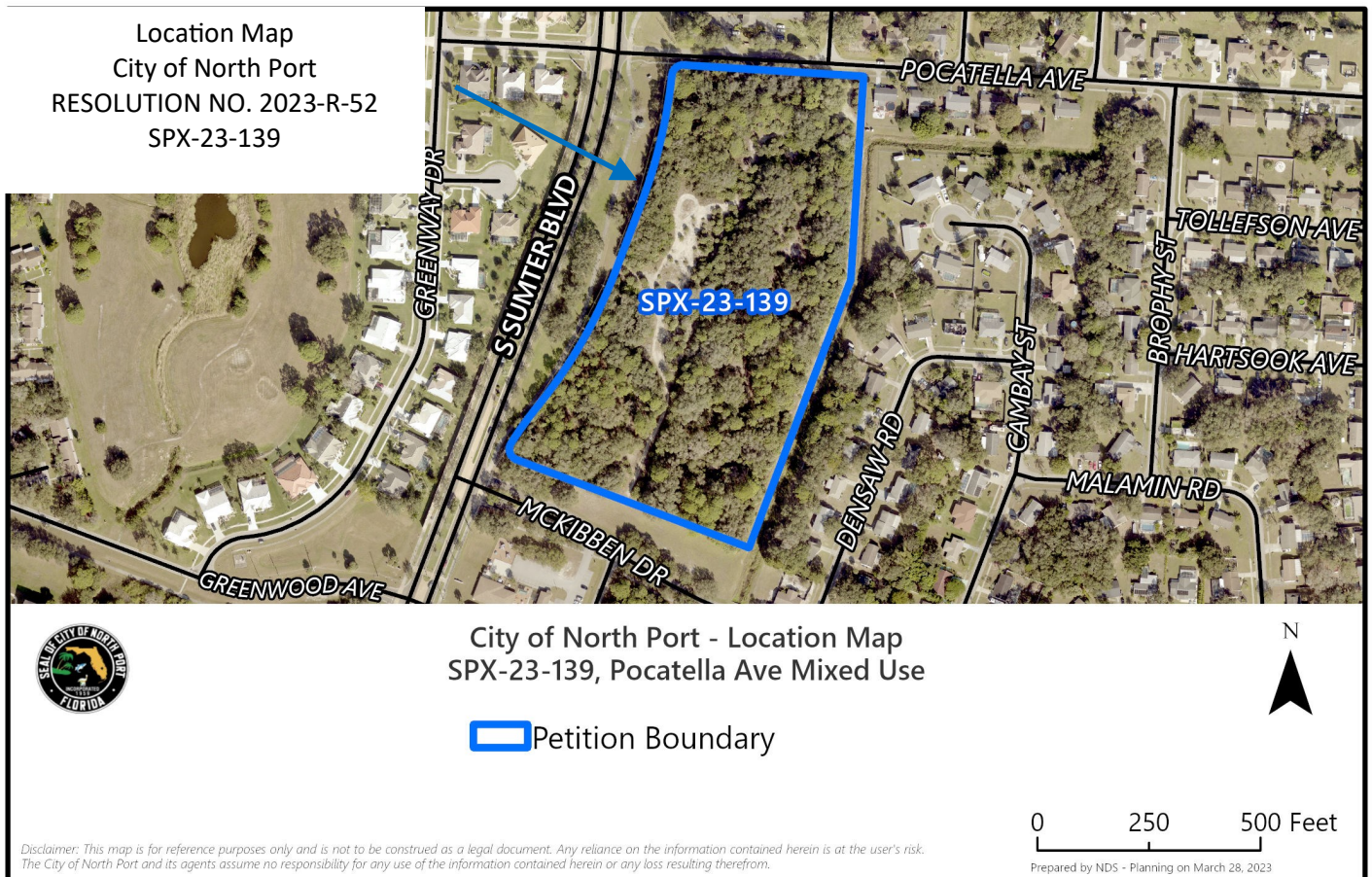
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City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

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BAF ASSETS 6 LLC

5001 PLAZA ON THE LAKE STE 200

AUSTIN, TX 78746

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Location Map
 City of North Port
 RESOLUTION NO. 2023-R-52
 SPX-23-139



City of North Port - Location Map
 SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

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City of North Port
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 Planning & Zoning Division
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BTR SCATTERED SITE OWNER 2 LLC

5001 PLAZA ON THE LAKE STE 200

AUSTIN, TX 78746

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 Planning & Zoning Division
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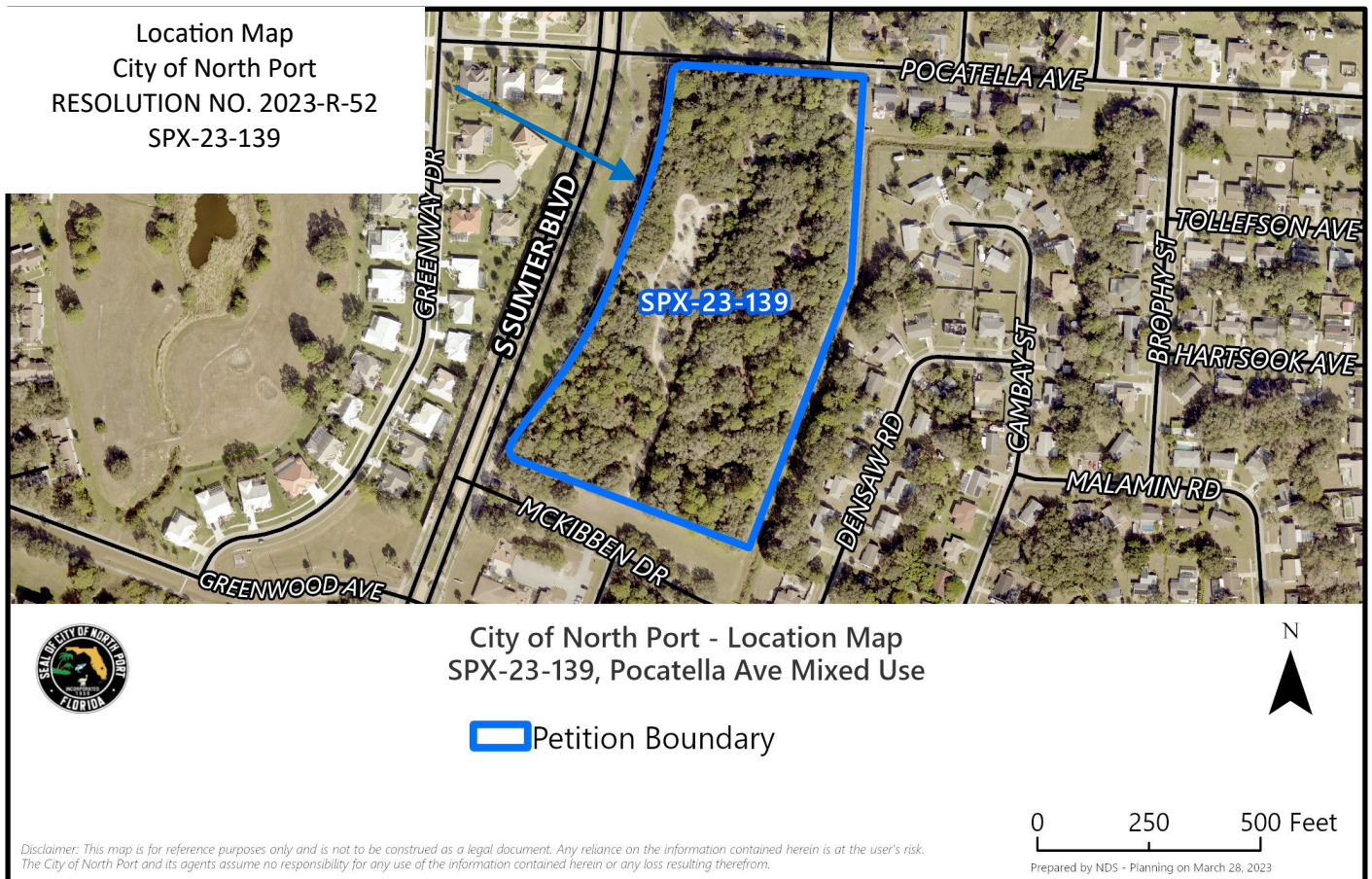
CPI/AMHERST SFR PROGRAM II OWNER LLC

5001 PLAZA ON THE LAKE STE 200

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FOR RESOLUTION NO. 2023-R-52
SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

JONES MARK A
JONES ZULEMA

541 ROUND REINS

CIBOLO, TX 78108

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
City of North Port
RESOLUTION NO. 2023-R-52
SPX-23-139



City of North Port - Location Map
SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

Disclaimer: This map is for reference purposes only and is not to be construed as a legal document. Any reliance on the information contained herein is at the user's risk. The City of North Port and its agents assume no responsibility for any use of the information contained herein or any loss resulting therefrom.



City of North Port
 Neighborhood Development Services
 Planning & Zoning Division
 4970 City Hall Boulevard
 North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
 NOTICE OF PUBLIC HEARINGS
 FOR RESOLUTION NO. 2023-R-52
 SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

COOPER ROBERT W TTEE

5300 WENTWORTH ST

FORT WORTH, TX 76132-2002

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.





City of North Port
Neighborhood Development Services
Planning & Zoning Division
4970 City Hall Boulevard
North Port, FL 34286

**PUBLIC NOTICE - CITY OF NORTH PORT
NOTICE OF PUBLIC HEARINGS
FOR RESOLUTION NO. 2023-R-52
SPX-23-139**

NOTICE IS HEREBY GIVEN, pursuant to Sec. 53-258. B. of the Unified Land Development Code (ULDC), that the Planning and Zoning Advisory Board designated as the Local Planning Agency will hold a public hearing for consideration of a special exception request to allow a multi-family residential use development in the Office, Professional, Institutional (OPI) Zoning District via SPX-23-139 on **Thursday, September 21, 2023, at 9:00 a.m.** or as may be continued thereafter.

HOUP GARY RAY

2737 WINDSOR AVE

WACO, TX 76708

A public hearing will be held before the North Port City Commission on **Tuesday, October 10, 2023, at 10:00 a.m.** or as soon thereafter as the matter may be heard to consider Resolution No. 2023-R-52. This Resolution may be enacted at this hearing date. The proposed special exception is described as follows:

Resolution No. 2023-R-52: A Resolution of the City Commission of the City of North Port, Florida, granting a special exception to allow a multi-family residential use located generally at the Southeast corner of South Sumter Boulevard and Pocatella Avenue North of McKibben Drive in the Office, Professional, Institutional (OPI) Zoning District pursuant to the City of North Port Unified Land Development Code Sections 53-92 and 53-259; providing for conflicts; providing for severability; and providing an effective date.

These hearings will take place in City Commission Chambers located on the second floor of North Port City Hall, 4970 City Hall Boulevard, North Port, FL 34286.

Location Map
City of North Port
RESOLUTION NO. 2023-R-52
SPX-23-139



City of North Port - Location Map
SPX-23-139, Pocatella Ave Mixed Use

 Petition Boundary



0 250 500 Feet

Disclaimer: This map is for reference purposes only and is not to be construed as a legal document. Any reliance on the information contained herein is at the user's risk. The City of North Port and its agents assume no responsibility for any use of the information contained herein or any loss resulting therefrom.

Exhibit I - Notice to Property Owners

NAME1

NAME_ADD2

TOIVONEN KENT W (E LIFE EST)
 ISAACKSZ CLAUDE
 VEZMAR MILORAD

TOIVONEN BEVERLY A (E LIFE EST)
 ISAACKSZ MARLENE

EDWARDS GARY
 HOME SFR BORROWER IV LLC
 HOME SFR BORROWER LLC
 MONEDERO COURTNEY
 BODNAR SERGIY
 GOMENYUK LILIYA
 LULKA VERA
 SREIT GRANDE COURT SARASOTA LLC
 MARSH ALAN
 KEMBER DAVID G
 THE BUYING COMPANY LLC
 LIMASOL PROPERTIES LP
 ARIAS FERNANDO EZEQUIEL
 KRINKE PROPERTIES LLC
 BIZZY BIZ CLEANUP AND GRADING INC
 COMMUNITY DEVELOPMENT GROUP INC
 ACOSTA BLAS
 ACOSTA GEORGE S (E LIFE EST)
 AFONSO CHARLES R
 AFRIAT CHARLES
 AINSCO MARK (LIFE EST)
 ALEGRIA MIGUEL LEAL
 ALEXANDER VERNON M (E LIFE EST)
 ANDACS AGOSTON TIBOR
 ANDERSON DAVID E
 ANDRES ROBERT J
 AUDETTE ROLAND C
 BAIRD AUSTIN
 BAKER PRISCILLA PAM MC KINNEY
 BAPTISTA DONNA BILADEAU
 BARAN BARBARA
 BARTOLOTTA ADAM
 BAYER JENNIFER LYNN
 BELYEU BARBARA L
 BILADEAU-BAPTISTA DONNA J
 BILIK BORIS
 BOBIC GENE LEE
 BOWERS DEBRA
 BOWERSOX KURTIS A
 BRIGHT ROGER
 BROMLEY DONALD J
 BROOKS JOHNNY D
 BROWN CRAIG A

EDWARDS METZA

 MONEDERO SARAH
 TITARCHUK LARISA

 ELLIS MATTHEW

 LATYSHEVA HANNA OLEGOVNA

 ACOSTA SILVIA
 BALDIZZI-ACOSTA ANITA (E LIFE EST)
 AFONSO MARGARET M

 AINSCO RANEE (LIFE EST)

 ALEXANDER SUSAN M (E LIFE EST)

 ANDERSON MARGARET A
 ANDRES ELIZABETH A
 AUDETTE LISA M

 BAKER WENDRETH PAIGE

 BARAN KRZYSZTOF JAKUB
 BARTOLOTTA DANETTE

 BILIK OKSANA

 BRIGHT JOHNETTA
 BROMLEY BARBARA J
 BARRETT CHRISTINE L
 BROWN KELLY A

Exhibit I - Notice to Property Owners

BROWN IRIS E (E LIFE EST)	
BROWNA LEONARD	
BROWNELL DENNIS D	
BURBOL BOB R	
BURGESS GARRY W	BURGESS DUANNE M
BUTORAC GREGORY P	BUTORAC MARION
BUTT ZIA	
CAPSUTO AMANDA R	CAPSUTO BRUCE D
CAPUTO DANIEL	
CHAMBERLAIN IRIS	CHAMBERLAIN DANIEL WEBSTER III
CHAMBERS-GILBERT MARIA ALEXANDRA	
CHAPMAN STACY	
CHEESEMAN MAUDE D	CHEESEMAN MATTHEW
CHEFFY TAYLIN	
CHLEBOWSKI RITA A	
CHRIST MARYLIN	CHRIST GEORGE B
CHUMBLEY MICKEY R	CHUMBLEY LINDA L
CHWOJKO KATARZYNA	CHWOJKO EDWARD
CIMENO CHARLENE	
CLAXTON TAMISHA L	CLAXTON MARCEL J
COHEN VICTOR M	COHEN BRENDA W
COKE GINA T	
COLLINS WILLIAM M	COLLINS GAIL E
COLON-BUZATU GLORIA ESTELLE	
CONCEPCION LOUIS A	CONCEPCION KATHY A
CONWAY ALETA M	
CONWAY FAMILY LIVING TRUST	
CONWAY JR JAMES F	CONWAY CORAZON R
CONWAY MICHAEL A	
COOK MERCEL DAVID JR	
COOPER ERNEST M	BELL PATRICIA JANE
CORBIN ASHLEY	
COREL APRIL	
COUP JR DONALD L	
CRISWELL ERIC EUGENE	CRISWELL MEGAN J
CROMER JORDAN	
CROSS KAMI	
CROSS PAUL MICHAEL	
CSANKI MICHAEL C	
CULP DAVID	CULP CANDYCE
CZIKOWSKY SETH	CZIKOWSKY ANDREA
DAGLEY PAUL M	DAGLEY CHRISTA JANE
DAVIDSON JERRY D	DAVIDSON KELLY A
DAVIDSON TRISHA D	
DIAKONIDZE NOE	
DIORIO MARIA E	DIORIO FRANK
DIXON KYLE ROBERT	DIXON RONALD LEE

Exhibit I - Notice to Property Owners

DOLAN MARK D
DORIS M BLANKENSHIP REVOCABLE TRUST
EIK STEVEN D
ELDIGSON SUSAN M
ELLIS HERMIN L
ELLISON DENNIS J
ELSENHEIMER ERIN MICHELLE
EMERY ROBERT M
ENCHAUTEGUI ROBERTO DIAZ
ENSOR MIRIAM A
ERITZ ELIZABETH A
ESCARRA ROY A
ESTRA GERTY
EVANISH MYRNA L (E LIFE EST)
FAIRWAY VILLAS PROPERTY OWNERS ASSN
FARRIS ALAN
FERGUSON ABSALOM
FETRO VIRGINIA MARIE
FLEMING SHIRLEY B
FOX JAMIE C
FOYE STEPHEN
FRASER KENTON
FREEDOM BIBLE CHURCH INC
FREEMAN ERIC ADAM
FREIN TERRY D
FREYBERG LARRY W
FROESE MICHAEL
FULMER KEVIN M
GARRAUS JOSE M (E LIFE EST)
GARRETT HEATHER L
GENS ROBERT E
GERMAIN BERNARD
GERSTUNG JOHN C
GLASGOW ROBERT
GLENN JOSEPH C
GLORIOSO MARGARET A
GOETZ INNA
GOLDMAN BENJAMIN JOSEPH
GRAHAM TIMOTHY
GREBE STEVEN
GREEN SARAH JO
GREENHAM JR WILLIAM
GROOVER BARBARA J
GUEVARA IV PEDRO
GUTIERREZ PEDRO
HALE JR MORRIS A
HARGRAVES CHRISTOPHER C

BLANKENSHIP DORIS M (TTEE)
EIK JESSICA A

ELSENHEIMER DAVID LLOYD

DIAZ STACEY
TRAINHAM DONALD R
ERITZ JOSEPH C

FARRIS CAROL

FLEMING SR DOUGLAS S
FOX DENISE N
FOSS DAWN

FREEMAN NAREE
FREIN KRISTIE G

FULMER KRISTY
GARRAUS MARIA M (E LIFE EST)
LAKEMAN CHRISTOPHER S
GENS CONSTANCE E

GLASGOW CHRISTINE
GLENN PAMELA
GLORIOSO PAUL L

GRAHAM THERESA
GREBE REBECCA

GREENHAM MILDRED F

GUEVARA SHARON M
GUTIERREZ YURI CATALINA
DOCTER B CHRISTINE
HARGRAVES ABBY

Exhibit I - Notice to Property Owners

HARMON-POIRIER JANET
HART SABRINA L
HENRY DARRYL W
HESTER GLENN
HOANG PHUOC (E LIFE EST)
HOGREFE LIVING TRUST
HOLUB EUGENIA
HOOD NANCY J
HOPKINS NEAL R (E LIFE EST)
HORTON GAIL
HOULKER BRANDEN J
HOWARD STEPHANIE S
HRYTSKEVICH NELYA S
HUDSON JOHN A
HUSS JOHN TIMOTHY
ISHAC BEVERLY A (E LIFE EST)
IZAGUIRRE FRANCISCO MIGUEL
JACK & JULIA S HEDGES REVOCABLE TRUST
JACKSON JEFFREY H
JAMES HART AND CAROL J GLASS JOINT TRUST
JANSSON SADIE C
JOHNSON DEBRA
JOSEPH R SPUGLIO REVOCABLE TRUST
KAIL MICHAEL A
KANWISHER JOHN WALTER
KEILTY FAMILY REVOCABLE TRUST
KEOGH PATRICK JAMES
KIEL JEFFREY S
KIFYUK OKSANA
KIMBREL NAIDA
KINDSTEDT ELLEN L
KOPFHAMER ANNA LEE
KORPONAY MARIAN
KOSLOW KENNETH A
KOWALCZYK WOJCIECH
KREITZER MARGARET A
LADDARAN ANGELINE T
LAMB WADE C
LAMOUREUX MARK M
LANDON KILCHA
LANGLAIS HERVE N
LARSTANNA STEPHEN
LECESSE JOSEPH
LEWIS LENITA J
LEWIS THOMAS LYNN II
LIEBERMANN KEITH E
LINDA M GROTHOR REVOCABLE TRUST

SATTERLEY CRAIG
HENRY CLARA J
HESTER NITA L

HOGREFE SUSAN M (CO-TTEE)

HRYTSKEVICH DANIL

PEREZ VIDAL DANIELA E
HEDGES JULIA CO-TTEE

GLASS JAMES H (TTEE)

SPUGLIO JOSEPH R (F/B/O)
KAIL PATRIECE A

KEILTY SHARON EILEEN (TTEE)

KIEL PATRICIA G

KOPFHAMER WILLIAM

LAMB REBECCA A
LAMOUREUX DEANNA L

LARSTANNA JESSICA

LEWIS JOCELYN EVELYN CARLEEN

GROTHOR LINDA M (TTEE)

Exhibit I - Notice to Property Owners

LINDERS ROSANNE T (E LIFE EST)

LINEBERGER LEAH

LIVEK JAMES E

LIVESAY FREDA G (E LIFE EST)

LOEFFLER BEN

LOOMIS KURT DUNN

LOPEZ ANA

LOVESKY BRIAN

LUPI VICTOR

LYNN ASHLEY C

MARCKMANN CHAD

MARQUES AVIS M (E LIFE EST)

MARTIN KEVIN JOHN

MARTINEZ CARLOS AUGUSTO

MARTINI MICHAEL J

MARUDAS MARIO

MARY LOU WELDY REVOCABLE TRUST

MATTHEWS TERESITA

MAUNG KHIN M

MAYHEW DONNIE E

MC CLOUD ANDRE

MC ELRATH MARJORIE

MCDONALD ASHLEY

MCNAMARA LIVING TRUST

MEADOWS ROBYN

METILUS CALEINE ROSE MICHEL

MICALIZZI JOSEPH

MIDAS CASSANDRA MARIE

MIHM RUTH JOAN

MILLER MICHAEL

MITCHELL WALTER L

MOESSNER JULIA L

MOLINA-ALVAREZ JAIME

MOORE CAROL A

MORGAN JEANNE

MORROW ZACHARY WILLIAM

MORSE FRANK J

MUNRO JESSICA LYNN

MURPHY JAMES G

MURRAY RONALD D

MUTTY GREGORY

NELSON RICHARD J

NORTH PORT RETIREMENT CTR INC

NORTH PORT RETIREMENT CTR INC

ODONNELL HUGH MICHAEL

OLDJA VICTOR

OSBORN HUGH A

LIVEK KRISTEN M

DODGE MARSHALL

LOOMIS YELENA

EVERNHAM KRISTIN

MARCKMANN TAYLOR

LOVE ASHLEY J

WELDY MARY LOU (TTEE)

HAN SU MYAT

MAYHEW DEBORAH F

MC CLOUD SANDRINA

MCNAMARA RICHARD (TTEE)

MIDAS GARY JAMES JR

HUBBARD JODY

MITCHELL MARSHA L

MOESSNER MARK

LEGON MARISEL BACERRA

MORSE GLORIA M

MURRAY TRICIA S

MUTTY KAYLA

NELSON BARBARA J

ODONNELL CHERYL ANN

OLDJA ELAINE T

Exhibit I - Notice to Property Owners

PANECKI JOHN
PAPP IHOR
PARCHMENT TANESHA
PATEL ILA
PEREIRA SHERRYL
PERETIATKO WALTER
PETTIT MICHAEL V
PITTS WILLIAM
PLIS ARLENE D
POMORIN VIRGIL W
POTVIN DAVID
PRYCE RUDOLPH
PYLES CHERYL A
RADINOVIC SUSAN
REVOCABLE OGOU TRUST
REVOCABLE TRUST U/A/D 10/27/2016
RICHARD L SITTON REVOCABLE LIVING TRUST
RIVERA ANA MARIA
ROCHE AMY
RODNEY MARY D
RODRIGUEZ LUIS
RODRIGUEZ PEDRO J PALENZUELA
ROESSLER HEATHER
ROME STEPHANE
RONALD I FISHER REVOCABLE TRUST
RUMENAP ROLAND G
RUSKEY CATHERINE M
SABINO RAUL A
SABOL ALAN P
SAHM NELSON R JR
SALO JEFFREY L
SARAH N KAUK REVOCABLE TRUST
SB&G LIMITED HOLDINGS LLC
SB&G LIMITED HOLDINGS LLC
SCHENK JOHN B
SCHMIDT ADDIE
SCICCHITANO BRUNO JOSEPH JR
SEDLAR EVELYN YURIDIA
SEEPE JOHN E III
SEPEZY TIMOTHY
SIDILAU CHAD
SILVA JR JUAN
SIMMS LYNDESEY M
SMITH CHERYL LYNN
SOKOLOV ARMANDO
STACKHOUSE RHONDA
STERLING LIVING TRUST

PANECKI KAREN ROSE
PAPP ANNA
PARCHMENT KEINO

PERETIATKO MARIA
PETTIT ALECIA S
PITTS PATRICIA

POMORIN CAROL A
HARMON JENNA
PRYCE ALBERTHA

BENTON ROBERT ELLERY (TTEE)
SITTON RICHARD (TTEE)

RUMENAP JANIECE L
RUSKEY SCOTT F

SABOL WILMA G

SALO ELIZABETH ANN
KAUK SARAH N (TTEE)

SCHENK JANICE E
LANDIS TINA

SEDLAR EDUARDO JAVIER
SEEPE MICHELLE M
SEPEZY REBECCA
SULLIVAN KELLY
SILVA KIMBERLY

STERLING JAMES J (TTEE)

Exhibit I - Notice to Property Owners

STEVENS GERALD (E LIFE EST)
STRAUGHAN ROBERT
STROKER TRUST
STRONG RYAN
SUPRIADKIN GENNADII
TARASENKO DOMKA
TAYLOR KEVIN JOHN
TEASDALE RAYMOND E JR
THALMAN GARY R
THOMAS ELDA R
THOMPSON ORVILLE
TILSON SUELI
TORCHIA STEPEHN F
TORCHIA STEPHEN F
TOWNE RICHARD B
TROYER CYNTHIA M
TRUST U/A/D 01/26/2007
TSOURAKIS CHRISTOS
TUCCIARONE THOMAS A
USECHE TEOFILO
VANDENWILDENBERG DANIEL M
VARGAS NABOR D
VAVRA THOMAS V
VIA RYAN J
VILLAFANA ORLINE R
VOGT JAMES
WACTOWSKI JOSEPH D
WALKSLER DEBORAH
WALLACE JESSICA J
WALSH CECELIA D
WALTON MATTHEW A
WARD ROBERT J
WATSON RUSSELL WILLIAM
WAYMAN JOSEPH A
WEAVER KRISTINA R
WEINGARTNER THOMAS
WESTMORELAND ROY FRANCIS
WESTROM WESLEY J (E LIFE EST)
WHITMIRE SHAWN TIMOTHY
WHITMORE DALE L
WILLIAMS MARK
WOOD JOSEPH H
YORK ANGELIQUE M
ZAMBRANA WALTER
ZIMMERMAN TRAVIS C
ZIRKELBACK ROBERT S
ZUBL MARSHA

STEVENS DONNA M (E LIFE EST)
STRAUGHAN MARSHA
STROKER FRANK J JR (TTEE)

BAZHENOVA IULIIA
TARASENKO ALENA

TEASDALE TAMMY LYNN

KAMP JAMES R
THOMPSON BEVERLEY E

TORCHIA PATRICIA A
TORCHIA PATRICIA A
TOWNE SALLY A

MARELIC SVETKO (TTEE)
TSOURAKIS LESLIE ANN

VANDENWILDENBERG CHRISSEY
RODRIGUEZ GLORIA
VAVRA SANDRA

VILLAFANA GARFIELD F

WACTOWSKI LUCILLE M

WALTON MIRANDA L
WARD MARTHA A

WAYMAN MARYELLEN R
WARK TYLER

WESTMORELAND GLORIA HENEDINA
WESTROM MARILYN D (E LIFE EST)
WHITMIRE CARRIE ANN
WHITMORE ESTER P
WILLIAMS GLORIA
WOOD JOANNE V

ZAMBRANA GILDA E
ZIMMERMAN LISA M

ALLAN PAUL

Exhibit I - Notice to Property Owners

CAN INVESTMENT GROUP LLC	
AMENT SOUTH LLC	
MC VETY BLAIR A	MC VETY RENEE M
CHERIE T SMEDLEY IRREVOCABLE OBRA TRUST	SMEDLEY CHERIE T (F/B/O)
F & A ATLANTIC INC	
ROUTZONG DEBORAH J	
TILSON LALENE M	
WHITAKER GABRIELLE	WHITAKER KYLE
CHILD PROTECTION CENTER INC	
FARRELL PETER	FARRELL GEORGINA
KRAFT DAVID A	KRAFT RUTH
PARIS ALEZANDER LEE MAXWELL	
WESTONE SERVICE INC	
BAY AREA TRUST LLC	
NORTH PORT OMV II LLC	
SABAL TRACE DEVELOPMENTS PARTNERS LLC	
16979 TTS LLC	
CABRERA LUCY	MARTINEZ CARLOS
MAHONEY SR KEVIN M	MAHONEY GRETA M
POSTELL MELANIE H	
SCHECK RONALD R	SCHECK MICHELE M
SHOOP FAMILY TRUST	
VANRIPER KELLY JOHN	OBRIEN DEVON LEIGH
DOMENECH EUNISWIDALY	CARTAGENA BERNARDO
CSMA FT LLC	
ELAINE JEAN GREIF FLORIDA REVOCABLE LIVING TRUST	
GREIF JOSEPH P JR	
SFR II BORROWER 2021 3 LLC	
CUMBANO ST LLC	
PETROW MICHAEL D	PETROW GALINA T
BOWSER MICHELE M	
GROS ZORA	JACOBS S LIBA
WARNER LORI J	
BREDERSON RICHARD A (E LIFE EST)	
LORETI MAUREEN	LORETI LISA
MAYNARD EARL	
RPM MANAGEMENT GROUP LLC	
AGGANIS DEMO (LIFE EST)	AGGANIS L PATRICIA (LIFE EST)
BIAGIANTI ANTONY	
STE MARIE KAREN J	STE MARIE DONALD A SR
WAGNER LEOPOLD O (LIFE EST)	JACOBS JANEY S
IODICE JOSEPH W	IODICE CAROLE
NORTH PORT HEALTH INVESTORS LLC	
LORD BRUCE P SR	
PETERSON THOMAS J	PETERSON CHRISTINE C
DAVIS JAMES R	DAVIS JANET L
HARDWOOD HILLS GOLF COURSE LLC	

Exhibit I - Notice to Property Owners

BAUMAN WILLIAM H
CAROL A BAILEY REVOCABLE LIVING TRUST
BOVA DONALD R
ANDERSON ROBERT
SCHMITT FAMILY IRREVOCABLE TRUST
HNATYSHYN OLEH
NIKOLIC RADOVAN
PAINTER DAVID
PAINTER JENNILYN
TAMSUM LLC
HART WILLIAM W
RICCI DONNA LYNN
JOHNSON JAMES E JR
BORTZ HARRY A
MILLS VERNE
ALTAMIRANO XAVIER
MAKSYM BOGDAN
VAN HORN HART
SNYDER LARRY E
WILES FRED
GERALD P CREED REVOCABLE TRUST
ARVM 5 LLC
BAF 3 LLC
BAF 3 LLC
BAF ASSETS 2 LLC
BAF ASSETS 3 LLC
BAF ASSETS 4 LLC
BAF ASSETS 6 LLC
BTR SCATTERED SITE OWNER 2 LLC
CPI/AMHERST SFR PROGRAM II OWNER LLC
JONES MARK A
COOPER ROBERT W TTEE
HOUP GARY RAY

BAUMAN JEANNINE M

BOVA WENDY L
ANDERSON LINDA

ZHURAVKOVA YULIA
NIKOLIC VESNA
PAINTER JENNILYN
PAINTER DAVID

HART KATHLEEN A

JOHNSON DEBORAH L
BORTZ BEVERLY A

VILLAMAR GUILLERMO
MAKSYM IZOLDA
VAN HORN LISA M
SNYDER BARBARA E

JONES ZULEMA

NAME_ADD3

NAME_ADD4

	157 BEEK RD
	23 BRANT STREET UNIT 1102
	24 SOUTHPORT ST #255
	# 9 CARRINGTON POINTE
	PO BOX 4090
	PO BOX 4090
	1336 ONSTOTT RD
	4137 GOTHBERG AVE N
	3931 WARD AVE
	2066 MILL PLAIN RD
	C/O STARWOOD CAPITAL GROUP GLOBAL LP
	128 FOREST ST
	16478 4TH AVE NE
	PO BOX150970
	1448 NW 111TH WAY
	6507 ROCK BRIDGE LN
	2090 FLORIDA AVE
	1375 JACKSON ST STE 406
	555 NW 95 ST
CASIANO-ACOSTA MARIA R	4532 TOLLEFSON AVE
	4654 PAYNE ST
	6320 SAFFORD TER
	4781 POCATELLA AVE
STEELE SR SAMUEL W	4692 POCATELLA AVE
	5430 MALAMIN RD
	4722 ABADAN ST
	8680 CHESEBRO AVE
	4441 BARODA AVE
	4534 HARTSOOK AVE
	4598 MARALDO AVE
	4566 MONGITE RD
	4533 HARTSOOK AVE
	4488 POCATELLA AVE
	5615 BLIFFERT ST
	4550 MONGITE RD
	5390 MALAMIN RD
	5075 BROPHY ST
	4488 POCTELLA AVE
	3419 TOWN TER
	4811 ABADAN ST
	5988 PANORAMA LN
	4537 MARALDO AVE
	5036 GREENWAY CT
	5684 LINKSMAN PL
	4518 MARALDO AVE
	5699 BLIFFERT ST

4404 TOLLEFSON AVE
5225 BROPHY ST
4954 PAYNE ST
5164 CAMBAY ST
4470 HARTSOOK AVE
4803 BATCHELOR AVE
4950 POCATELLA AVE
4493 MCKIBBEN DR
4631 POCATELLA AVE
4535 MC KIBBEN DR
5731 BEAUMONT LOOP
4575 MCKIBBEN DR
4502 HARTSOOK AVE
5761 BEAUMONT LOOP
4421 BARODA AVE
5285 BROPHY ST
4540 POCATELLA AVE
5936 BEAUMONT LOOP
4687 MARALDO AVE
4640 MARALDO AVE
5982 PANORAMA LN
4840 PAYNE ST
4595 TOLLEFSON AVE
5058 GREENWAY DR
4551 MONGITE RD
5100 RICHMOND TER
C/O JAMES F CONWAY & CORAZON R CONWAY TTE
4745 ABADAN ST
4766 CUMBANO ST
4808 MCKIBBEN DR
4596 TOLLEFSON AVE
5237 SIMRAK ST
5285 CAMBAY ST
4384 HOKAN AVE
5016 KINGSLEY RD
4558 MARALDO AVE
5409 SIMRAK ST
4878 CUMBANO ST
5407 DENSAW RD
5054 GREENWAY DR
4461 BARODA AVE
5012 KINGSLEY RD
4723 ABADAN ST
4372 TOLLEFSON AVE
4655 PAYNE ST
5287 DENSAW RD
4753 ESCALANTE DR

COHEN DAVID J

4688 MARALDO AVE
4563 TOLLEFSON AVE
4767 ESCALANTE DR
5150 CAMBAY ST
5345 CAMBAY ST
4346 POCATELLA AVE
4444 BARODA AVE
5100 DENSAW RD
5650 POSTMA ST
4487 MAC CAUGHEY DR
4484 BARODA AVE
4865 ABADAN ST
5405 CAMBAY ST
4898 ABADAN ST
5640 MASHIE CIR
5481 POSTMA ST
5001 KINGSLEY RD
5465 CAMBAY ST
5009 POCATELLA AVE
5178 CAMBAY ST
5410 MALAMIN RD
5035 GREENWAY DR
5550 S SUMTER BLVD
5449 POSTMA ST
5031 GREENWAY DR
4739 ESCALANTE DR
4658 MONGITE RD
4906 CUMBANO ST
4355 MAC CAUGHEY DR
4411 POCATELLA AVE
4501 BARODA AVE
4257 APPLETON TER
4768 ESCALANTE DR
5285 SIMRAK ST
5255 BROPHY ST
5126 RICHMOND TER
5560 NIBLICK PL
5367 DENSAW RD
5333 SIMRAK ST
1514 NIMBUS DR
5972 PANAORAMA LN
5195 BROPHY ST
4688 MONGITE RD
5252 CAMBAY ST
4773 ESCALANTE DR
5327 DENSAW RD
5100 CAMBAY ST

BOCCHICCHIO LORETTA

	5383 MALAMIN RD
	4498 MARALDO AVE
	5111 RICHMOND TER
	5105 BROPHY ST
	5008 KINGSLEY RD
HOGREFE MARK (CO-TTEE)	5954 PANORAMA LN
	4766 ABADAN ST
	5791 BEAUMONT LOOP
	4481 BARODA AVE
	5456 NIBLICK PL
	5860 NIBLICK PL
	4374 HARTSOOK AVE
	5010 GREENWAY DR
	4695 PAYNE ST
	5012 POCATELLA AVE
	4863 BATCHELOR AVE
GONZALES ARNOLD ARNULFO	4766 SALADINO AVE
	5657 BLIFFERT ST
	5685 BLIFFERT ST
	5041 RICHMOND TER
	4832 ABADAN ST
	4720 PAYNE ST
DARLENE PAIVA REVOCABLE TRUST	5006 GREENWAY DR
	5001 GREENWAY DR
	4745 PAYNE ST
	5978 PANORAMA LN
	5121 RICHMOND TER
	4601 POCATELLA AVE
	4617 SALADINO AVE
	5375 CAMBAY ST
	5021 RICHMOND TER
	5348 DENSAW RD
	5308 DENSAW RD
	5050 GREENWAY DR
	507 MARIA PL
	5450 MALAMIN RD
	4640 MONGITE RD
	5360 MALAMIN RD
	5200 DENSAW RD
	4598 POCATELLA AVE
	5067 GREENWAY DR
	4436 TOLLEFSON AVE
	4359 POCATELLA AVE
	5428 NIBLICK PL
	5105 DENSAW RD
	4777 ABADAN ST
	5043 GREENWAY DR

HATFIELD CYDNEY

4598 HARTSOOK AVE
5966 PANORAMA LN
4787 ESCALANTE DR
5484 NIBLICK PL
4759 ESCALANTE DR
5010 POCATELLA AVE
5400 NIBLICK PL
4467 TOLLEFSON AVE
4514 POCATELLA AVE
4624 MARALDO AVE
4406 HARTSOOK AVE
4732 POCATELLA AVE
4522 BARODA AVE
5388 DENSAW RD
5500 NIBLICK PL
4564 TOLLEFSON AVE
4534 MONGITE RD
5665 POSTMA ST
5032 GREENWAY CT
PO BOX 6817

MCNAMARA JODI (TTEE)

4578 MARALDO AVE
5376 MALAMIN RD
4468 TOLLEFSON AVE
5071 GREENWAY DR
4513 POCATELLA AVE
5000 RICHMOND TER
4945 PAYNE ST
5671 BLIFFERT ST
5269 MALAMIN RD
5135 CAMBAY ST
5055 GREENWAY DR
4668 MONGITE RD
4717 MCKIBBEN DR
4615 PAYNE ST
5960 PANORAMA LN
5664 NIBLICK PL
4499 TOLLEFSON AVE
5240 BROPHY ST
5040 GREENWAY CT
4567 MONGITE RD
4700 ABADAN ST
5468 DENSAW RD
4950 POCATELLA AVE
4950 POCATELLA AVE
5247 DENSAW RD
4854 ABADAN ST
5051 GREENWAY DR

	4608 MARALDO AVE
	4762 ESCALANTE DR
	4623 MARALDO AVE
	5830 NIBLICK PL
	5315 MALAMIN RD
	5011 GREENWAY DR
	5360 CAMBAY ST
	4751 SALADINO AVE
	5023 GREENWAY DR
	4609 MONGITE RD
	4691 POCATELLA AVE
	4464 BARODA AVE
	5656 LINKSMAN PL
	4736 SALADINO AVE
	4740 ESCALANTE DR
BENTON DORIS TICHY (TTEE)	5048 GREENWAY DR
SITTON JOAN (TTEE)	5046 GREENWAY DR
	5282 CAMBAY ST
	3838 LA ROCHA ST
	5261 SIMRAK ST
	4990 CUMBANO ST
	4765 PAYNE ST
	5357 SIMRAK ST
	5300 MALAMIN RD
	4905 PAYNE ST
	5121 CAMBAY ST
	5039 GREENWAY DR
	4810 ABADAN ST
	1528 SCARLETT AVE
	4710 CUMBANO ST
	5643 BLIFFERT ST
	5435 CAMBAY ST
	12233 TRIONFO AVE
	12233 TRIONFO AVE
	5695 BATTERSEA AVE
LANDIS RODNEY D	5061 RICHMOND TER
	5075 GREENWAY DR
	4461 POCATELLA AVE
	5011 POCATELLA AVE
	4566 HARTSOOK AVE
	4435 TOLLEFSON AVE
	4673 MONGITE RD
	4521 BARODA AVE
	5942 BEAUMONT LOOP
	4385 POCATELLA AVE
	4743 MCKIBBEN DR
STERLING SUSAN J (TTEE)	4502 BARODA AVE

STROKER BERTHA G (TTEE)

5063 GREENWAY DR
4744 ABADAN ST
4541 BARODA AVE
5470 MALAMIN RD
4674 PAYNE ST
5498 DENSAW RD
4613 MC KIBBEN DR
5420 CAMBAY ST
5042 GREENWAY DR
1322 MAIN ST
4899 ABADAN ST
5014 POCATELLA AVE
5332 LINKSMAN PL
5332 LINKSMAN PL
5027 GREENWAY DR
5390 CAMBAY ST
4566 POCATELLA AVE
4671 MARALDO AVE
4721 POCATELLA AVE
5013 POCATELLA AVE
4833 ABADAN ST
4734 ESCALANTE DR
5005 KINGSLEY RD
4893 BATCHELOR AVE
11800 D ALLYON DR
4926 CALAH ST
5009 KINGSLEY RD
5447 DENSAW RD
4500 TOLLEFSON AVE
4794 CUMBANO ST
5629 BLIFFERT ST
3128 PONCE DE LEON BLVD
4557 MARALDO AVE
5239 MALAMIN RD
4706 SALADINO AVE
5315 CAMBAY ST
5122 CAMBAY ST
2177 SILVER PALM RD
4995 PAYNE ST
5108 CAMBAY ST
5632 NIBLICK PL
5175 DENSAW RD
4539 POCATELLA AVE
5433 POSTMA ST
4662 POCATELLA AVE
4962 CUMBANO ST
4754 ESCALANTE DR

14035 NW 19TH AVE
901 TAMIAMI TRL
1181 CHESIRE ST
C/O ROBIN VAZQUEZ (TTEE)
24489 VIENISON LN
6468 ALAN BLVD
6230 SCOTT ST UNIT 211
2900 S US HWY 41
720 S ORANGE AVE
4272 MADEIRA CT UNIT 3325
7209 SERENOA DR
1824 MARBETH ST
1153 RUSSELL AVE
1902 W MAIN ST
C/O OM VENTURES
101 S 12TH STREET STE 102
7978 COOPER CREEK BLVD
ROCHA DIEGO 884 BAYPORT CIR
588 PARK ESTATES SQ
1331 PINE NEEDLE RD
897 WOOD SORREL LN
11241 BATELLO DR
1202 FALLS OF VENICE CIR
17331 WHITE MANGROVE DR
1850 Parkway Place STE 900
786 MONTICELLO RD
1494 LINN DELAWARE RD
120 S RIVERSIDE PLAZA STE 2000
323 REGAL CT
ON 757 BARRY AVE
6296 S STATE ROAD 159
MC LEOD DARA 6620 E 84TH AVE
198 SOUTH ROYALSTON RD
59 STONEY BROOK LN
8 PINEHURST AVE
C/O TAMMY MCCARTHY
821 MCKINSTRY AVE
SOUCY LAURIE J 4 CHAPEL RD
14 KAREN RD
680 W LOWELL AVE
WAGNER DEBORAH L C/O DEBORAH WAGNER
67 LINCOLN ST
7701 MARBURY RD
73 WINSLOW RD
5 VINING ST
45325 STONEHEDGE DR
25485 NORDIC POINT DR

Exhibit I - Notice to Property Owners

516 1ST ST S
26 ANDOVER DOWN
132 WELLS VILLAGE RD
2 LOCKE LN
31 RUMSON CT
50 COLFAX RD
31 POWDERHORN CT
4437 BLUE JUNIPER LOOP
4437 BLUE JUNIPER LOOP
570 DELAWARE AVE
27 CLEVELAND AVE
280 CHERRY VALLEY AVE APT B1
3190 STATE HIGHWAY 10
28 LADOGA PARK
6555 ANN LEE DR
13020 LEFFERTS BLVD
76 PACE DR S
3726 DURBIN RUN RD SE
7377 CROSSFIELD AVE
13566 KAUFFMAN AVE
1680 HUNTINGDON PIKE # 304
5001 PLAZA ON THE LAKE STE 200
5001 PLAZA ON THE LK STE 200
5001 PLAZA ON THE LAKE # 200
5001 PLAZA ON THE LAKE STE 200
5001 PLAZA ON THE LAKE STE 200
5001 PLAZA ON THE LAKE STE 200
5001 PLAZA ON THE LAKE STE 200
5001 PLAZA ON THE LAKE STE 200
5001 PLAZA ON THE LAKE STE 200
5001 PLAZA ON THE LAKE STE 200
541 ROUND REINS
5300 WENTWORTH ST
2737 WINDSOR AVE

Exhibit I - Notice to Property Owners

NAME_ADD5	CITY	STATE	ZIP	COUNTRY
	MERRICKVILLE	ON	K0G 1N0	CANADA
	TORONTO	ON	M5V 2L5	CANADA
	TORONTO	ON	M6S 4Z1	CANADA
	GREENBRIAR	AR	72058	
	SCOTTSDALE	AZ	85261-4090	
	SCOTTSDALE	AZ	85261-4090	
	LOMPOC	CA	93436	
	NORTH HIGHLANDS	CA	95660	
	NORTH HIGHLANDS	CA	95660	
	FAIRFIELD	CT	06824-3029	
591 W PUTNAM AVE	GREENWICH	CT	6830	
	STAMFORD	CT	6901	
	BRADENTON	FL	34208	
	CAPE CORAL	FL	33915	
	CORAL SPRINGS	FL	33071	
	ELLENTON	FL	34222	
	ENGLEWOOD	FL	34224	
	FORT MYERS	FL	33901	
	MIAMI	FL	33150	
	NORTH PORT	FL	34287	
	NORTH PORT	FL	34287	
	NORTH PORT	FL	34287-2028	
	NORTH PORT	FL	34287	
	NORTH PORT	FL	34287-2326	
	NORTH PORT	FL	34287	
	NORTH PORT	FL	34287	
	NORTH PORT	FL	34287-5403	
	NORTH PORT	FL	34287-2876	
	NORTH PORT	FL	34287-2852	
	NORTH PORT	FL	34287	
	NORTH PORT	FL	34287	
	NORTH PORT	FL	34287	
	NORTH PORT	FL	34287-2833	
	NORTH PORT	FL	34287-2874	
	NORTH PORT	FL	34287-2821	
	NORTH PORT	FL	34287	
	NORTH PORT	FL	34287-2873	
	NORTH PORT	FL	34287	
	NORTH PORT	FL	34286-4333	
	NORTH PORT	FL	34287	
	NORTH PORT	FL	34287-3104	
	NORTH PORT	FL	34287	
	NORTH PORT	FL	34287-3144	
	NORTH PORT	FL	34287-3135	
	NORTH PORT	FL	34287	
	NORTH PORT	FL	34287-2874	

Exhibit I - Notice to Property Owners

	NORTH PORT	FL	34287-2808
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287-2818
	NORTH PORT	FL	34287-2852
	NORTH PORT	FL	34287-2320
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287-2824
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287-2824
	NORTH PORT	FL	34287-2852
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287-2876
	NORTH PORT	FL	34287-2873
	NORTH PORT	FL	34287-2833
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287-2807
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287-2868
	NORTH PORT	FL	34287-2303
4745 ABADAN ST	NORTH PORT	FL	34287-2302
	NORTH PORT	FL	34287-2302
	NORTH PORT	FL	34287-2306
	NORTH PORT	FL	34287-2801
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287-2848
	NORTH PORT	FL	34287-2307
	NORTH PORT	FL	34287
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	NORTH PORT	FL	34287
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287-2307
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287
	NORTH PORT	FL	34287-2862
	NORTH PORT	FL	34287

Exhibit I - Notice to Property Owners

NORTH PORT	FL	34287-2831
NORTH PORT	FL	34287-2807
NORTH PORT	FL	34287
NORTH PORT	FL	34287-2818
NORTH PORT	FL	34287-2887
NORTH PORT	FL	34287-2813
NORTH PORT	FL	34287
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NORTH PORT	FL	34287-2877
NORTH PORT	FL	34287-2302
NORTH PORT	FL	34287-2888
NORTH PORT	FL	34287-2301
NORTH PORT	FL	34287-3129
NORTH PORT	FL	34287
NORTH PORT	FL	34287
NORTH PORT	FL	34287
NORTH PORT	FL	34287-3146
NORTH PORT	FL	34287
NORTH PORT	FL	34287-2850
NORTH PORT	FL	34287
NORTH PORT	FL	34289
NORTH PORT	FL	34287
NORTH PORT	FL	34287
NORTH PORT	FL	34287-2842
NORTH PORT	FL	34287
NORTH PORT	FL	34287
NORTH PORT	FL	34287
NORTH PORT	FL	34287
NORTH PORT	FL	34287-2883
NORTH PORT	FL	34287
NORTH PORT	FL	34287
NORTH PORT	FL	34287-2810
NORTH PORT	FL	34287-2873
NORTH PORT	FL	34287
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NORTH PORT	FL	34287-2873
NORTH PORT	FL	34287-2823
NORTH PORT	FL	34287-2886
NORTH PORT	FL	34287-2842
NORTH PORT	FL	34287-2845
NORTH PORT	FL	34287

Exhibit I - Notice to Property Owners

NORTH PORT	FL	34287
NORTH PORT	FL	34287
NORTH PORT	FL	34287-2327
NORTH PORT	FL	34287-2873
NORTH PORT	FL	34287-2307
NORTH PORT	FL	34287-3104
NORTH PORT	FL	34287-2301
NORTH PORT	FL	34287
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NORTH PORT	FL	34287-3136
NORTH PORT	FL	34287
NORTH PORT	FL	34287-2852
NORTH PORT	FL	34287-3140
NORTH PORT	FL	34287-2325
NORTH PORT	FL	34287-3145
NORTH PORT	FL	34287-2320
NORTH PORT	FL	34287-2322
NORTH PORT	FL	34287-2874
NORTH PORT	FL	34287
NORTH PORT	FL	34287-2304
NORTH PORT	FL	34287-2301
NORTH PORT	FL	34287-2323
NORTH PORT	FL	34287-3140
NORTH PORT	FL	34287
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NORTH PORT	FL	34287
NORTH PORT	FL	34287
NORTH PORT	FL	34287-2304
NORTH PORT	FL	34287-2834
NORTH PORT	FL	34287-2834
NORTH PORT	FL	34287-3142
NORTH PORT	FL	34287
NORTH PORT	FL	34287-2850
NORTH PORT	FL	34287-2823
NORTH PORT	FL	34287-2836
NORTH PORT	FL	34287-2834
NORTH PORT	FL	34287-2833
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NORTH PORT	FL	34287-3136
NORTH PORT	FL	34287-2862
NORTH PORT	FL	34287-2302
NORTH PORT	FL	34287-3185

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NORTH PORT	FL	34287
NORTH PORT	FL	34287
NORTH PORT	FL	34287-2842
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NORTH PORT	FL	34287-3137
NORTH PORT	FL	34287
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NORTH PORT	FL	34287-2806
NORTH PORT	FL	34287-3144
NORTH PORT	FL	34290-6817
NORTH PORT	FL	34287-2859
NORTH PORT	FL	34287-2836
NORTH PORT	FL	34287
NORTH PORT	FL	34287-3185
NORTH PORT	FL	34287-2815
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NORTH PORT	FL	34287-2832
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NORTH PORT	FL	34287-2325
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NORTH PORT	FL	34287-2807
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NORTH PORT	FL	34287-2837
NORTH PORT	FL	34287-2333
NORTH PORT	FL	34287
NORTH PORT	FL	34287-2862
NORTH PORT	FL	34287-2301
NORTH PORT	FL	34287-3185

Exhibit I - Notice to Property Owners

NORTH PORT	FL	34287-2831
NORTH PORT	FL	34287-2840
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NORTH PORT	FL	34287-2832
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NORTH PORT	FL	34287-2877
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NORTH PORT	FL	34287-2840
NORTH PORT	FL	34287-3142
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NORTH PORT	FL	34287
NORTH PORT	FL	34287-2810
NORTH PORT	FL	34287-2306
NORTH PORT	FL	34287-2314
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NORTH PORT	FL	34287-2332
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NORTH PORT	FL	34287-2301
NORTH PORT	FL	34289-9467
NORTH PORT	FL	34287
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NORTH PORT	FL	34287
NORTH PORT	FL	34287-1251
NORTH PORT	FL	34287
NORTH PORT	FL	34291-5692
NORTH PORT	FL	34287
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NORTH PORT	FL	34287-2815
NORTH PORT	FL	34287-2826
NORTH PORT	FL	34287-2877

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NORTH PORT	FL	34287-3185
NORTH PORT	FL	34287-2301
NORTH PORT	FL	34287-2883
NORTH PORT	FL	34287-2850
NORTH PORT	FL	34287-2323
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NORTH PORT	FL	34287-3142
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NORTH PORT	FL	34287-2302
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NORTH PORT	FL	34287-1002
NORTH PORT	FL	34287-2869
NORTH PORT	FL	34287
NORTH PORT	FL	34287-2845
NORTH PORT	FL	34287
NORTH PORT	FL	34287-2306
NORTH PORT	FL	34287
NORTH PORT	FL	34291-5706
NORTH PORT	FL	34287-2884
NORTH PORT	FL	34287
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NORTH PORT	FL	34287-2815
NORTH PORT	FL	34287
NORTH PORT	FL	34287-2326
NORTH PORT	FL	34287-2306
NORTH PORT	FL	34287

Exhibit I - Notice to Property Owners

	OPA LOCKA	FL	33054
	PORT CHARLOTTE	FL	33953
	PORT CHARLOTTE	FL	33953-2220
6230 SCOTT ST UNIT 211	PUNTA GORDA	FL	33950
	PUNTA GORDA	FL	33955-5504
	PUNTA GORDA	FL	33982
	PUNTA GORDA	FL	33950
	RUSKIN	FL	33570
	SARASOTA	FL	34236
	SARASOTA	FL	34233
	SARASOTA	FL	34241
	SARASOTA	FL	34231
	SARASOTA	FL	34232
	TAMPA	FL	33607
3607 S WESTSHORE BLVD	TAMPA	FL	33629
	TAMPA	FL	33602
	UNIVERSITY PARK	FL	34201
	VENICE	FL	34292
	VENICE	FL	34293-4165
	VENICE	FL	34285
	VENICE	FL	34293-7255
	VENICE	FL	34292
	VENICE	FL	34292
	WIMAUMA	FL	33598
	MARIETTA	GA	30067
	COGGON	IA	52218-9317
	COGGON	IA	52218
	CHICAGO	IL	60606
	CLARENDON HILLS	IL	60514
	WHEATON	IL	60187
	CARLISLE	IN	47838
	MERRILLVILLE	IN	46410
	ATHOL	MA	1331
	ATTLEBORO	MA	2703
	BEVERLY	MA	01915-4007
53 FITZGERALD RD	CHARLTON	MA	1507
	CHICOPEE	MA	01020-1513
	DANVERS	MA	01923-2408
	FRAMINGHAM	MA	1701
	HAVERHILL	MA	1830
55 MONTGOMERY DR	PLYMOUTH	MA	02360-5272
	WATERTOWN	MA	02472-1951
	BETHESDA	MD	20817-6226
	GORHAM	ME	4038
	LISBON FALLS	ME	4252
	PLYMOUTH	MI	48170
	GLENWOOD	MN	56344

Exhibit I - Notice to Property Owners

VIRGINIA	MN	55792-2640
NASHUA	NH	3060
SANDOWN	NH	3873
SEABROOK	NH	03874-4592
WARETOWN	NJ	8758
WAYNE	NJ	7470
WOODBIDGE	NJ	7095
SANTA FE	NM	87507
SANTA FE	NM	87507
BUFFALO	NY	14202
FREDONIA	NY	14063-1901
GARDEN CITY	NY	11530
JOHNSTOWN	NY	12095-4930
LANSING	NY	14882
NORTH ROSE	NY	14516-9512
SOUTH OZONE PARK	NY	11420-2706
WEST ISLIP	NY	11795-5100
BREMEN	OH	34107
MENTOR	OH	44060-7576
STERLING	OH	44276-9601
HUNTINGDON VALLEY	PA	19006
AUSTIN	TX	78746
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CIBOLO	TX	78108
FORT WORTH	TX	76132-2002
WACO	TX	76708